

NARWEE MIXED USE DEVELOPMENT

41 BROADARROW ROAD, NARWEE, NSW 2209

ARCHITECTURAL DRAWINGS - DEVELOPMENT APPLICATION

DRAWING SCHEDULE

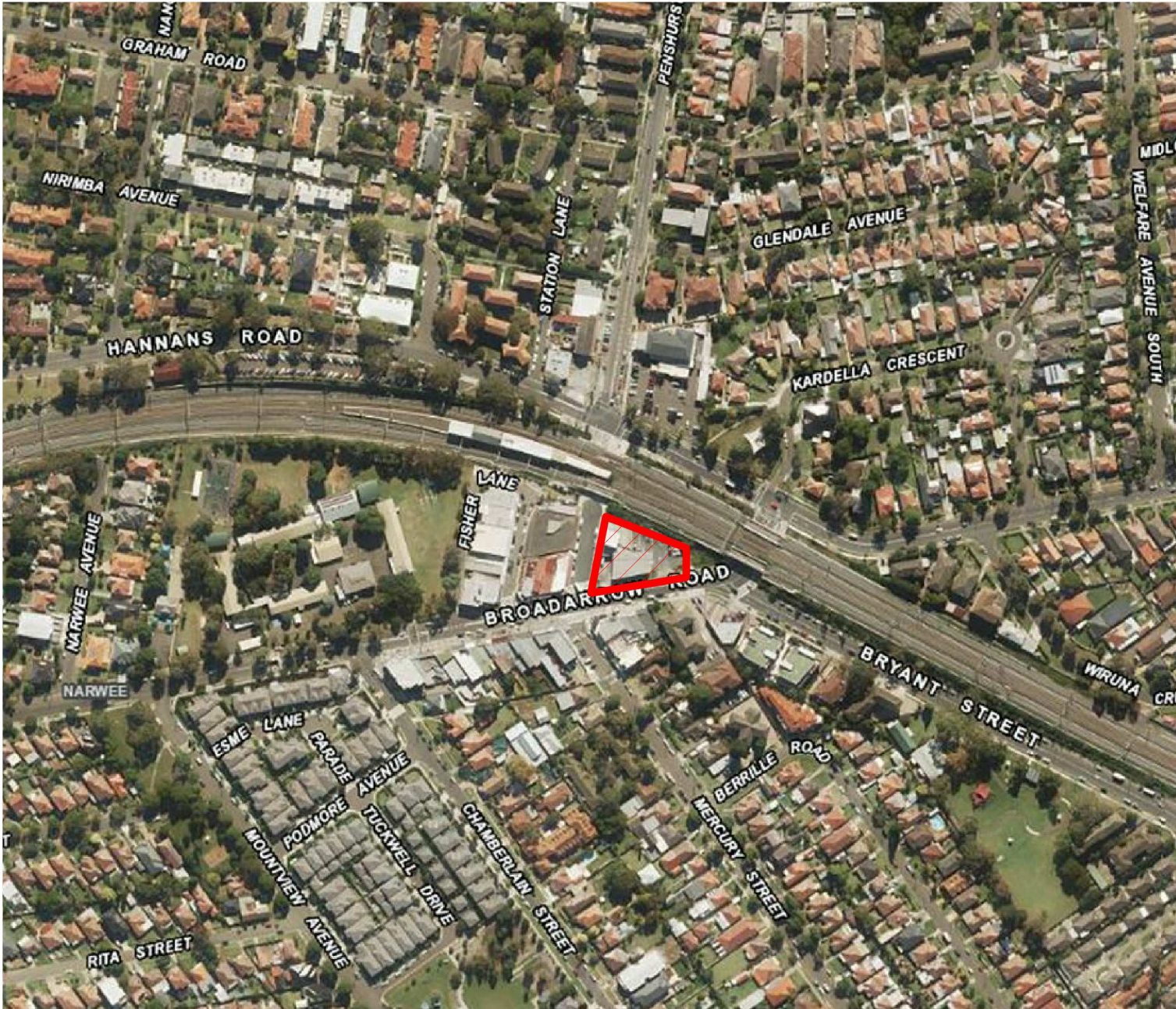
Sheet Number	Sheet Name
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DA-803	SHADOW DIAGRAMS - PROPOSED
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DA-805	SOLAR STUDIES (VIEW FROM THE SUN)
DA-806	SHADOW DIAGRAM - NEIGHBOURING

ABBREVIATION KEY

BAL	Balustrade
BAL-G	Balustrade Glass
BCA	Building Code of Australia
BOL	Bollard - Traffic
x BR APT	No. Bedroom Apartment
BY	Bicycle
C	Commercial Car Space
CONC	Concrete
DP	Downpipe
ENS	Ensuite
EX	Existing
FEN	Fence
FL	Floor Level (Finished)
FSR	Floor Space Ratio
GC	Garbage Chute
GD	Grated Drain
GFA	Gross Floor Area
HR	Handrail
LDRY	Laundry
MB	Mail Box
MC	Motorcycle Space
REC	Recycling Bin
RL	Reduced Level
RWO	Rain Water Outlet
S	Signage
SC	Storage Cage
SC-O	Storage Cage - Overhead
SKL	Skylight
TOW	Top of Wall
W-H	Highlight Window
V	Visitor Car Space

CONSULTANTS INFORMATION

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01 LOCATION PLAN

1 : 4000

BASIX Compliant Design Specification Summary – Refer to BASIX Certificate for all details

Design Specification – Residential Apartment Units FABRIC
External Walls: A minimum of R2.5 insulation added to all External Walls to achieve a minimum Total R-Value of R2.8. Walls to Internal Corridors or Non-Conditioned Zones: A minimum of R1.5 insulation added to partition walls between apartment units and non-conditioned enclosed internal zones (including lift lobbies and corridors and fire stairs etc.) to achieve a minimum Total R-Value of R1.8. Internal Walls to Adjoining Apartment: As the adjoining apartment unit is considered a conditioned space there is no minimum thermal insulation requirement for this specific walls. Therefore the insulation to this wall shall be as per acoustic or other design requirements. Ceilings: We have assumed floor to ceiling heights as indicated on the architectural drawings received. Roof Type: A minimum of R4.0 roof insulation to be added to Level 2 apartment unit L02-06 with an exposed roof (Minimum Total R-value R4.2 to be achieved). Roof colour for solar absorbance assumed to be 'medium'. A minimum of R3.0 roof insulation to be added to all other apartment units with an exposed roof (Minimum Total R-value R3.2 to be achieved). Roof colour for solar absorbance assumed to be 'medium'. Suspended Floor Slabs: Generally: Add R1.0 insulation to underside of suspended floors between conditioned and internal enclosed non-conditioned spaces (e.g. conditioned space above the floor and non-conditioned enclosed spaces below the floor). Note: Excludes suspended floors above a substation. Add R2.0 insulation to the underside of exposed suspended floors between conditioned and external spaces (e.g. conditioned space above the floor and non-enclosed external space below the floor). For Apartment Unit L02-06: For Apt L02-06, add R2.0 insulation to underside of L3 slab between internal non-conditioned space above L3 slab and Apt L02-06 located below L3 slab. Floor Coverings The following design specifications have been included within the NATHERS Assessments: <ul style="list-style-type: none">• Carpet to all bedrooms.• Timber to all living spaces• Tiles to Kitchen areas/bathrooms/toilets/laundry Windows and Glazed Doors (Fixed and/or Operable): The glazing thermal performance specification of Total System U-Value of 4.3 W/m².K and Total System SHGC of 0.53 is required for the following apartments: <ul style="list-style-type: none">• Apt L01-06, L01-12, L01-13• Apt L02-06, L02-12, L02-13 The glazing thermal performance specification of Total System U-Value of 5.4 W/m².K and Total System SHGC of 0.58 is required for the following apartments:

Design Specification – Residential Apartment Units FABRIC
<ul style="list-style-type: none">• Apt L01-04, Apt L01-08, Apt L02-04, Apt L07-02, Apt L07-04 The glazing thermal performance specification of Total System U-Value of 6.7 W/m².K and Total System SHGC of 0.57 is required for all other remaining apartment units. All windows/glazed doors must be specified with weather-strips to prevent air infiltration when closed. This is standard compliance with AS2047. Note: The thermal performance values for all windows/glazed doors detailed above are "Total System" for glass and framing system combined.

Design Specification – WATER for Residential Building Component & Related Areas (refer BASIX Certificate)
Alternative Water Supply: No rainwater storage/re-use tank system is mandatorily required for BASIX compliance purposes. For all other hydraulic/stormwater requirements, please refer to the Hydraulic/Civil Engineer's detailed specifications. Fire Sprinkler Test Water (B1 to B4): Fire sprinkler test water must be contained within the fire sprinkler system for re-use, rather than disposed. For example, the fire sprinkler test water system must be a closed system where test water can be stored in a storage tank (or similar) to re-use in the next periodic fire sprinkler test. Storage tank sizing must account for this design requirement. Fixtures & Fittings: We note that fixtures with the following minimum WELS performance ratings have been included in the BASIX Assessment: Common Areas (as applicable) & all dwellings: <ul style="list-style-type: none">3 Star WELS minimum rated Showerheads (>6.0 but <= 7.5 l/min)4 Star WELS minimum rated Toilets5 Star WELS minimum rated Kitchen taps5 Star WELS minimum rated Bathroom taps3 Star WELS minimum rated Dishwashers We note a reduction in the water efficiency quality of these appliances/fixtures will affect the water aspect of the BASIX rating. Note: <ul style="list-style-type: none">• No swimming pool/spa• No common area showers for residential building component• No common area toilets for residential building component• No common laundry facilities for residential building component• 3 Star WELS rated taps for common areas of residential building component

Design Specification – ENERGY for Residential Building Component & Related Areas (refer BASIX Certificate)
Alternative Energy Supply: A minimum 10kW peak Photovoltaic System (PV) is mandatorily required for BASIX compliance purposes. Air Leakage: All units kitchen, bathroom and laundry exhaust shall be via individual fans and ducted to external façade or roof. Refer to BASIX certificate for operation control. Back-draft dampers must be installed to prevent air infiltration. Hot Water Systems: A centralised hot water system (gas-fired boiler) has been specified within the BASIX Certificate. Domestic Hot Water pipework is required to have a minimum of R1.0 insulation for all external piping and R0.6 for all internal piping. It should be noted that a less efficient hot water system will affect the rating of the BASIX Energy Target. Lifts: All lift systems: gearless traction with VVVF motor. Mechanical Ventilation Systems: Common Areas: Ground Floor Residential Lobby – natural ventilation only, no mechanical ventilation Ground Floor Bin Collection Area – Ventilation Exhaust Only (Continuous) Ground Floor Substation - natural ventilation only, no mechanical ventilation All Fire Stairs & Fire Egress Corridor – no mechanical ventilation East Block Level 1 to Level 2 Common Corridors – Mechanical Ventilation Supply Only (Time clock or BMS controlled) West Block Level 2 Common Corridors – Mechanical Ventilation Supply Only (Time clock or BMS controlled) All other Common Corridors – natural ventilation only, no mechanical ventilation Level 1 to Level 7 Bin Rooms - Ventilation Exhaust Only (Continuous) Basement Car Park (all levels B1 to B4, including bicycle parking areas, storage and basement lift lobby areas) – Mechanical Ventilation Supply and Exhaust system (VSD controlled and CO monitoring) B1 Residential Bin Room - Ventilation Exhaust Only (Continuous) B1 Switchroom - Ventilation Supply Only (Continuous) B1 Corridor Room – Air conditioning system (continuous) B1 Hydrant Pump Room - Ventilation Supply Only (Continuous) B1 Plant Rooms - Ventilation Supply Only (Continuous) Apartment Dwelling Units: Bathrooms – Ducted Ventilation exhaust only (interlocked to light) Laundry – Ducted Ventilation exhaust only (Manual switch on/off) Kitchen – Ducted Ventilation exhaust only (Manual switch on/off) Apartment Dwelling Units Air-Conditioning Systems: Single Phase Reverse cycle air-conditioning for all unit dwellings (living & bedroom areas). Minimum EER requirements – Cooling 3.0 - 3.5, Heating 3.0 - 3.5 Day-night zoning between living room and bedrooms is not required.

Lighting: Common Areas Lighting: Ground Floor Residential Lobby – LED Lighting with motion sensor control Ground Floor Bin Collection Area – LED Lighting with motion sensor control Ground Floor Substation - LED Lighting with manual on/off control All Fire Stairs & Fire Egress Corridor – LED Lighting with motion sensor control Level 1 to Level 7 Bin Rooms - LED Lighting with motion sensor control Basement Car Park (all levels B1 to B4, including bicycle parking areas, storage and basement lift lobby areas) – LED Lighting with toned switching and motion sensor control B1 Residential Bin Room - LED Lighting with motion sensor control B1 Switchroom - LED Lighting with manual on/off control B1 Corridor Room – LED Lighting with motion sensor control B1 Hydrant Pump Room - LED Lighting with manual on/off control B1 Plant Rooms - LED Lighting with manual on/off control Apartment Dwelling Units Lighting: Dedicated LED Lamps for all rooms Lifts Lighting: LED lighting connected to lift call button Apartment Dwelling Units Appliance Specifications: The following minimum energy performance specifications have been included within the BASIX assessment: Gas cooktop and electric ovens to all dwellings. Dishwasher – 3.5 Star minimum Energy rating Clothes Dryer – 2 Star minimum Energy rating Clothes Washer – not specified Refrigerator – not specified Compliance Note: A reduction in the energy efficiency quality of any of these appliances will affect the energy aspect of the BASIX rating. Client to confirm which appliances are to be included within building design.
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ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/19
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY:	CHECKED BY:
CA	JL
CLIENT	
MR & MRS COSTAS	

DRAWING
COVER SHEET

DATE	SCALE @ A3	DRAWN
12/11/15	As indicated	JL/PL
PROJECT No.	DISCP.	DRAWING No.
2017151 A	DA-000	ISSUE
		4

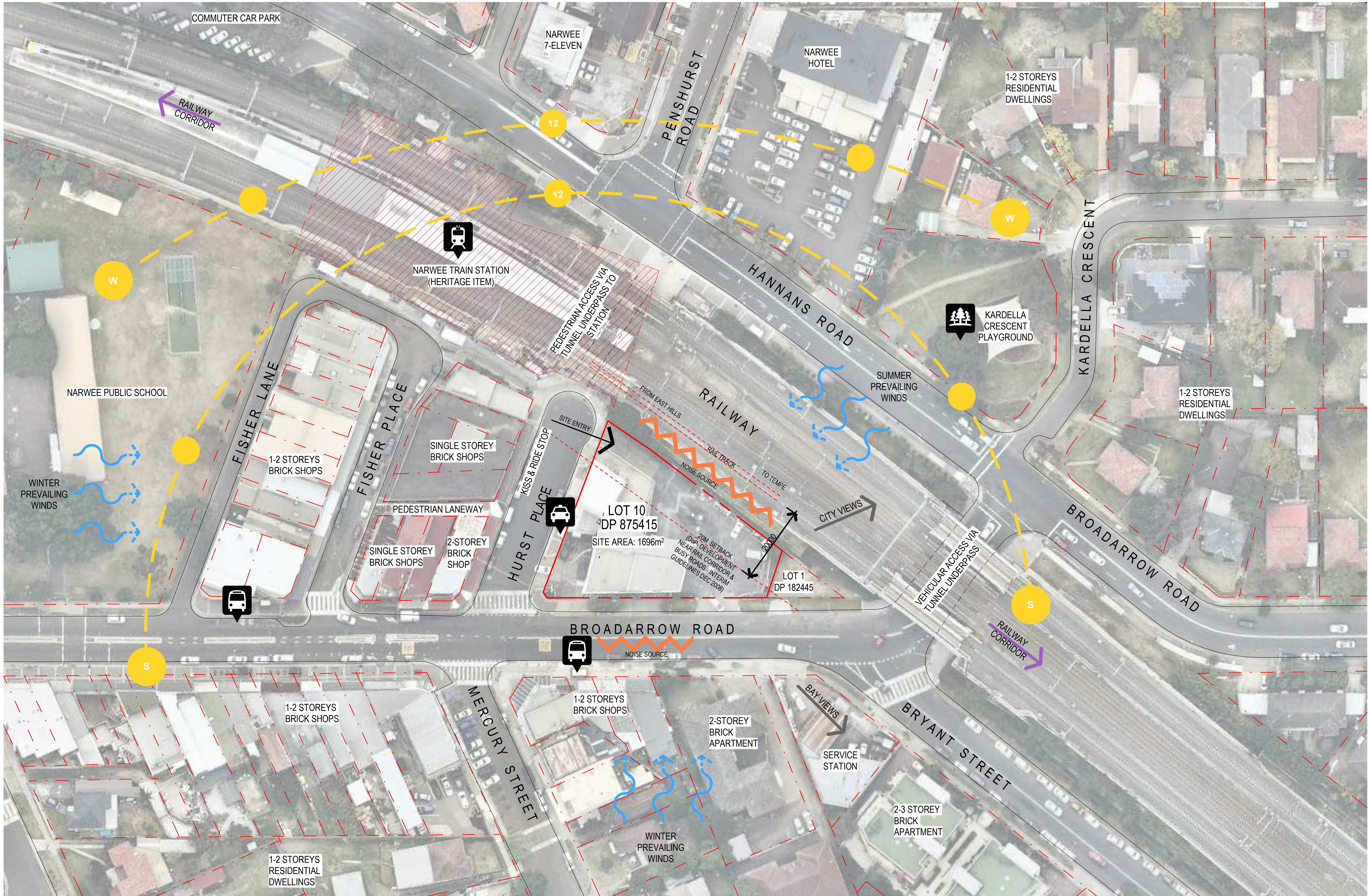
PROJECT
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Trading as Jackson Teece
ABN 15 083 837 390
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
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2	REVISED DA ISSUE	JL	22/11/19
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1 SITE ANALYSIS PLAN

1 : 1000

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APPROVED BY: CA CHECKED BY: JL
CLIENT: MR & MRS COSTAS

DRAWING: SITE ANALYSIS


DATE: 06/02/16 SCALE @ A3: 1 : 1000 DRAWN: JL/PL

PROJECT No. 2017151 A DISCP. DA-010 ISSUE: 4

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<p>GENERAL NOTE:</p> <p>1. APPROXIMATE LOCATION OF ALL UNDERGROUND TANKS</p> <p>2. ANY REDUNDANT SITE SERVICES TO BE REMOVED/ RELOCATED/ REPLACED SUBJECT TO AUTHORITIES REQUIREMENTS TO FUTURE DETAILS</p> <p>3. ALL EXISTING TRAFFIC SIGNAGES TO BE RETAINED/ RELOCATED/ REPLACES SUBJECT TO AUTHORITIES REQUIREMENTS TO FUTURE DETAILS</p>			
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<p>CLIENT</p> <p>MR & MRS COSTAS</p>			
			
<p>DRAWING</p> <p>DEMOLITION PLAN & SITE</p> <p>MANAGEMENT PLAN</p>			
<p>DATE</p> <p>06/03/16</p>		<p>SCALE @ A3</p> <p>1 : 400</p>	
<p>PROJECT No.</p> <p>2017151 A</p>		<p>DRAWING No.</p> <p>DA-020</p>	
<p>PROJECT</p> <p>NARWEE MIXED USE DEVELOPMENT</p>		<p>ISSUE</p> <p>4</p>	

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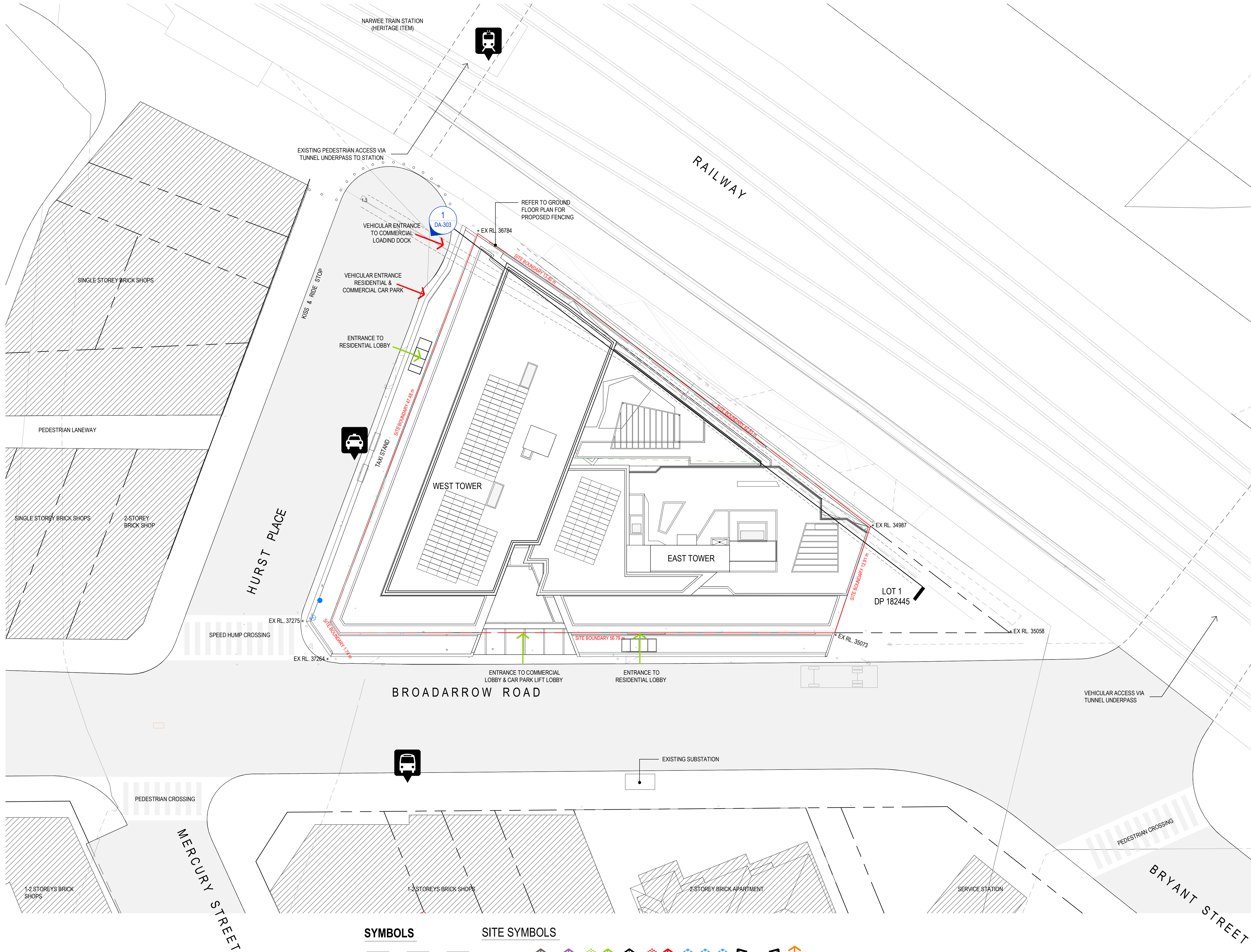
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06/03/16	1 : 400	JL/PL

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NARWEE MIXED USE DEVELOPMENT

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ISSUE	DESCRIPTION	APPROVED	DATE
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1 SITE PLAN
1 : 400

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SYMBOLS



PARK



TAXI



TRAIN



NOISE SOURCE



DISTANT VIEW



VISTA VIEW



PEDESTRIAN



SITE ENTRY



VEHICLE



WIND DIRECTION



VIEW ASPECT



SLOPE

SITE SYMBOLS

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SITE PLAN

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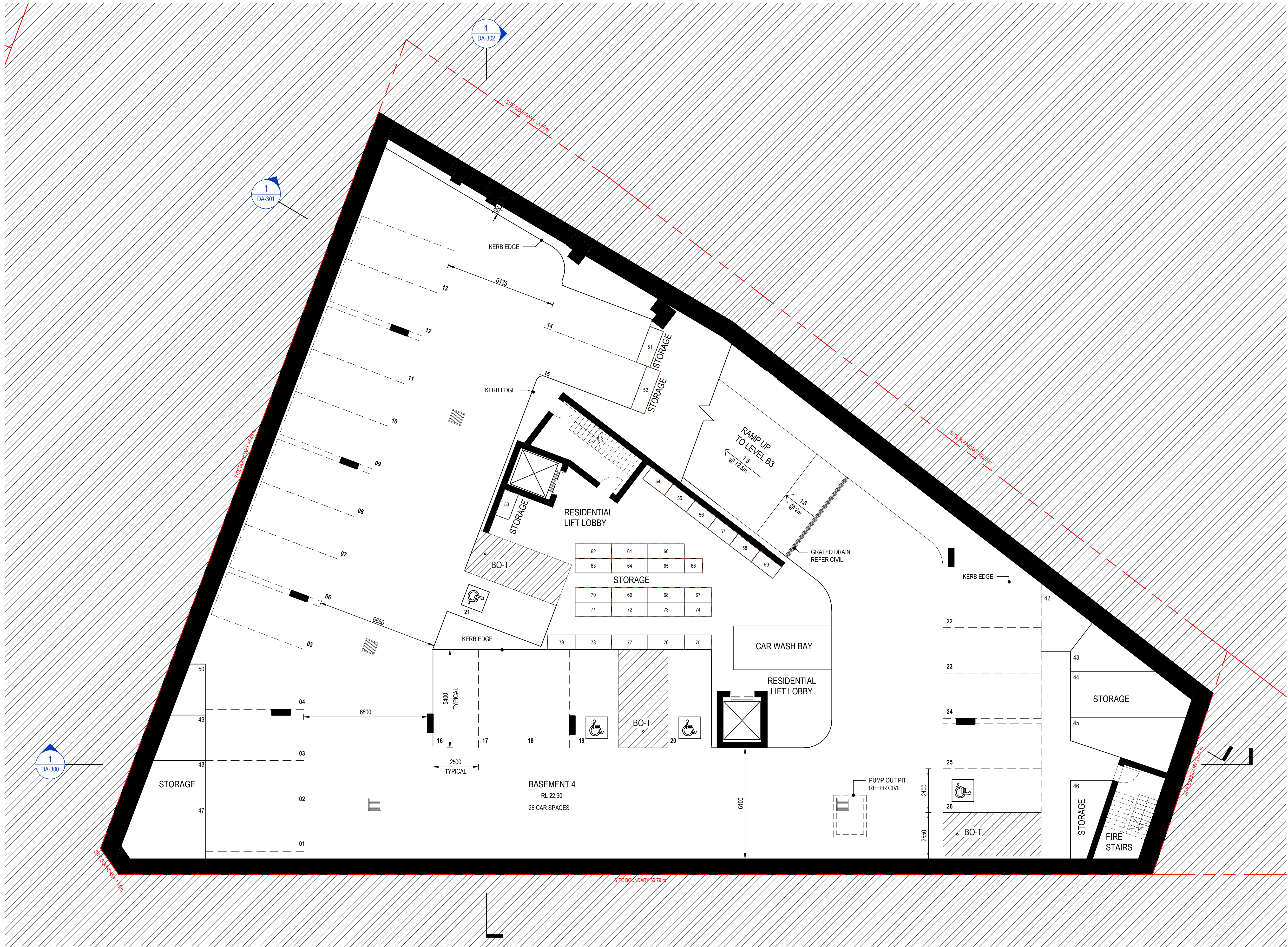
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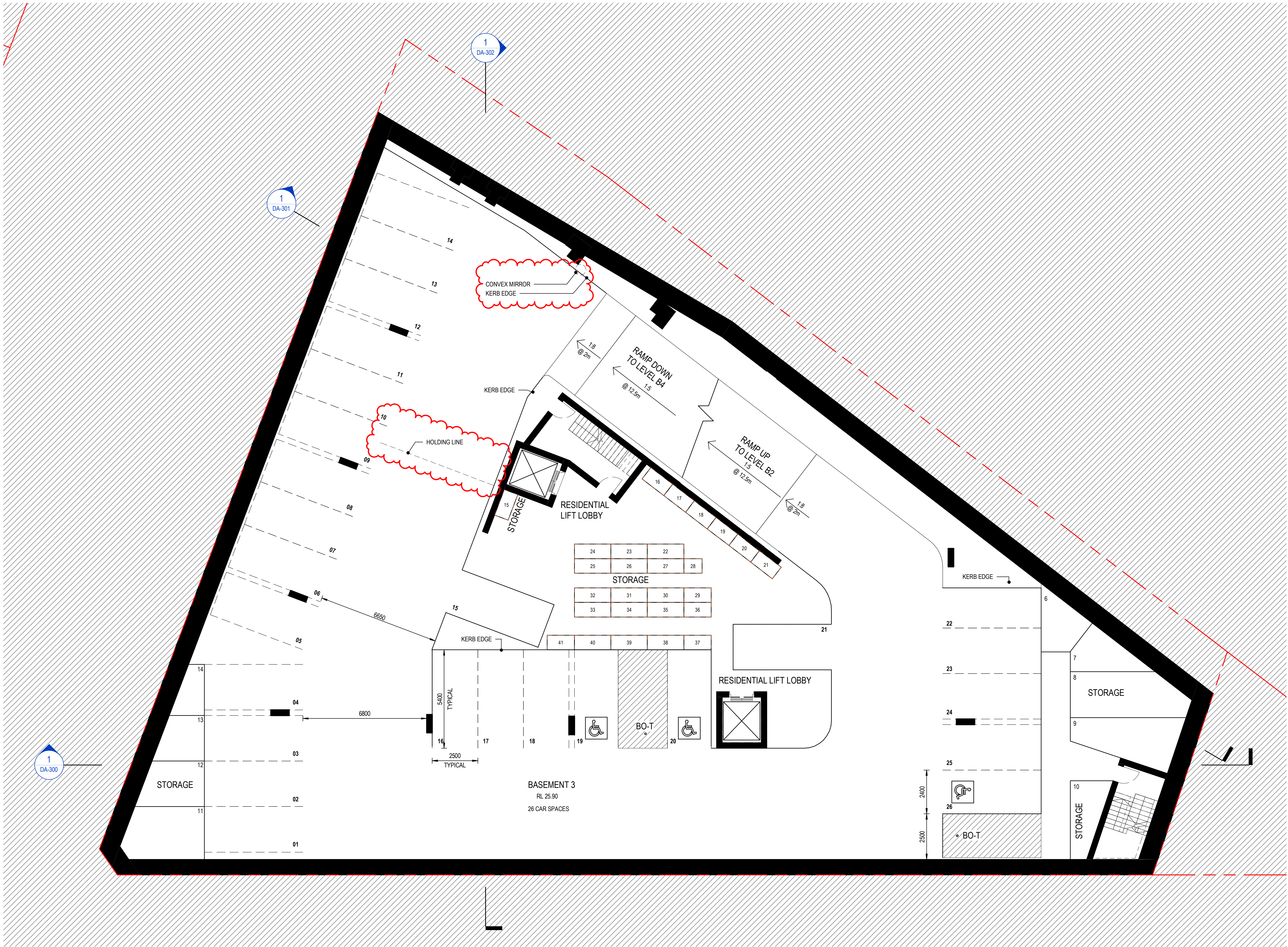
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CLIENT: MR & MRS COSTAS

DRAWING: FLOOR PLAN - BASEMENT 3

DATE: 10/17/18
SCALE @ A3: 1 : 200
DRAWN: JL/PL
PROJECT No.: 2017151 A
DISC.: DA-107
ISSUE: 4

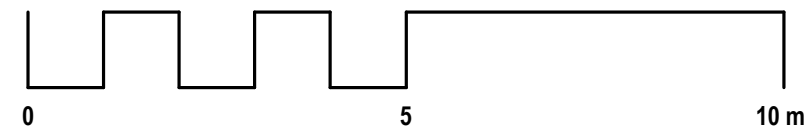
PROJECT: NARWEЕ MIXED USE DEVELOPMENT

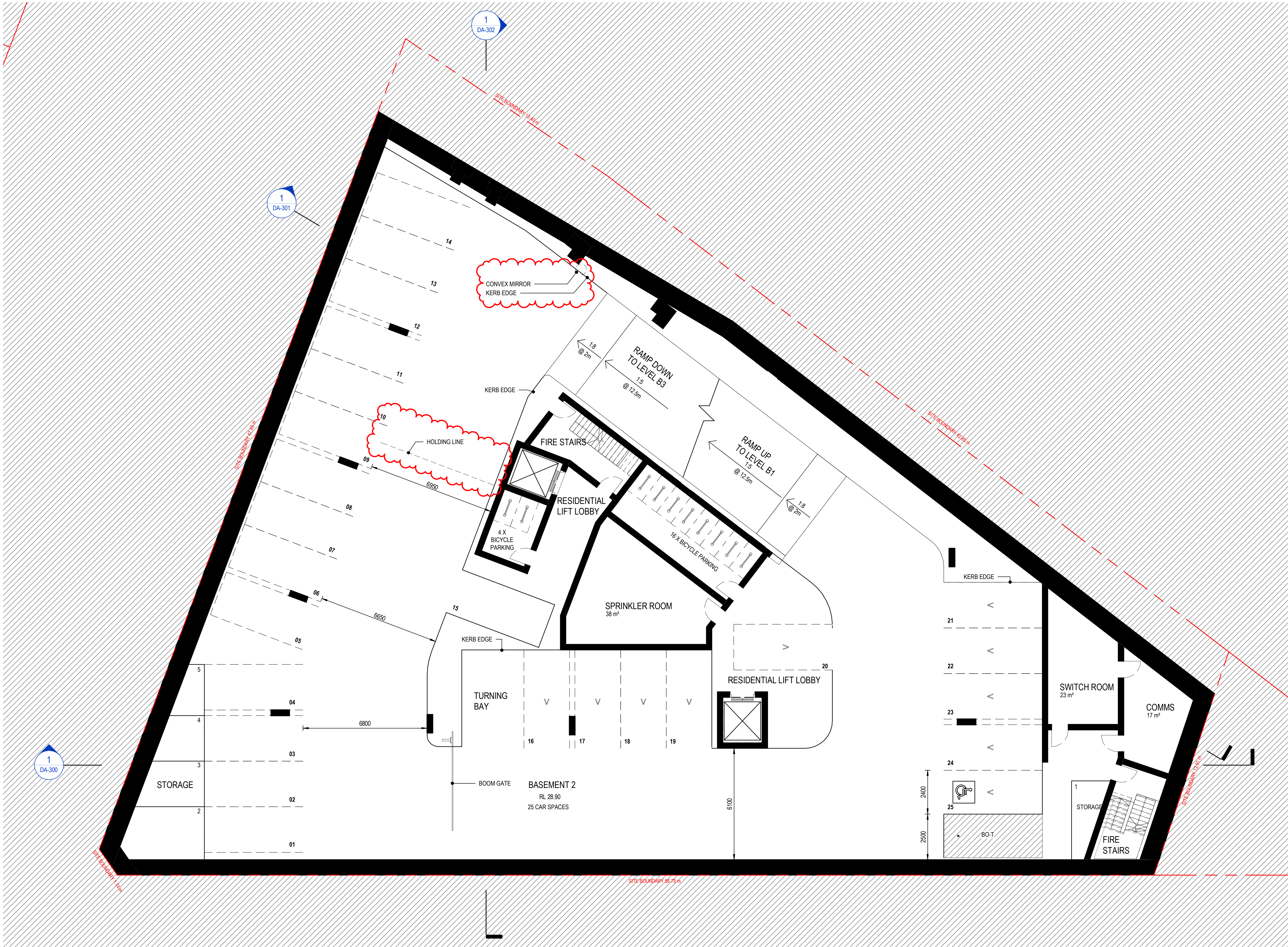
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1 FLOOR PLAN - BASEMENT 3

1 : 200





1 FLOOR PLAN - BASEMENT 2
1 : 200

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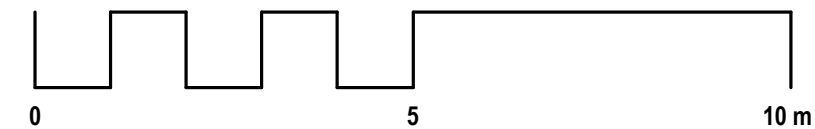
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FLOOR PLAN - BASEMENT 2

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

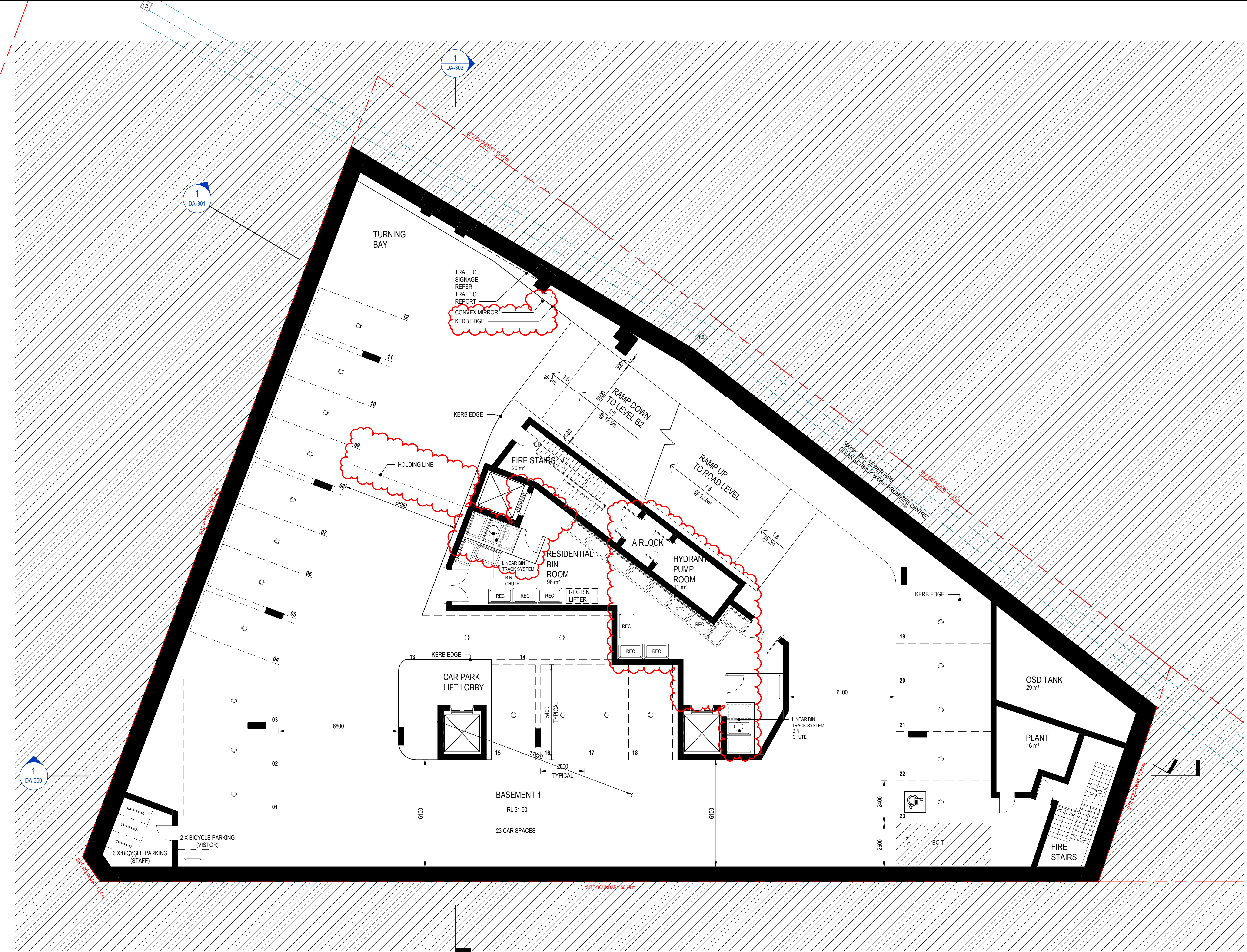
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NARWEE MIXED USE DEVELOPMENT



1 FLOOR PLAN - BASEMENT 1
1 : 200

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CAR PARKING CALCULATION

LEVEL	NUMBER
LEVEL B4	26
LEVEL B3	26
LEVEL B2	35
LEVEL B1	27
LEVEL GF	1
TOTAL	115

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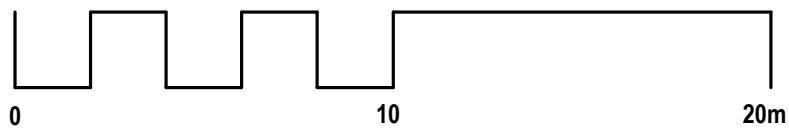
DRAWING
FLOOR PLAN - BASEMENT 1

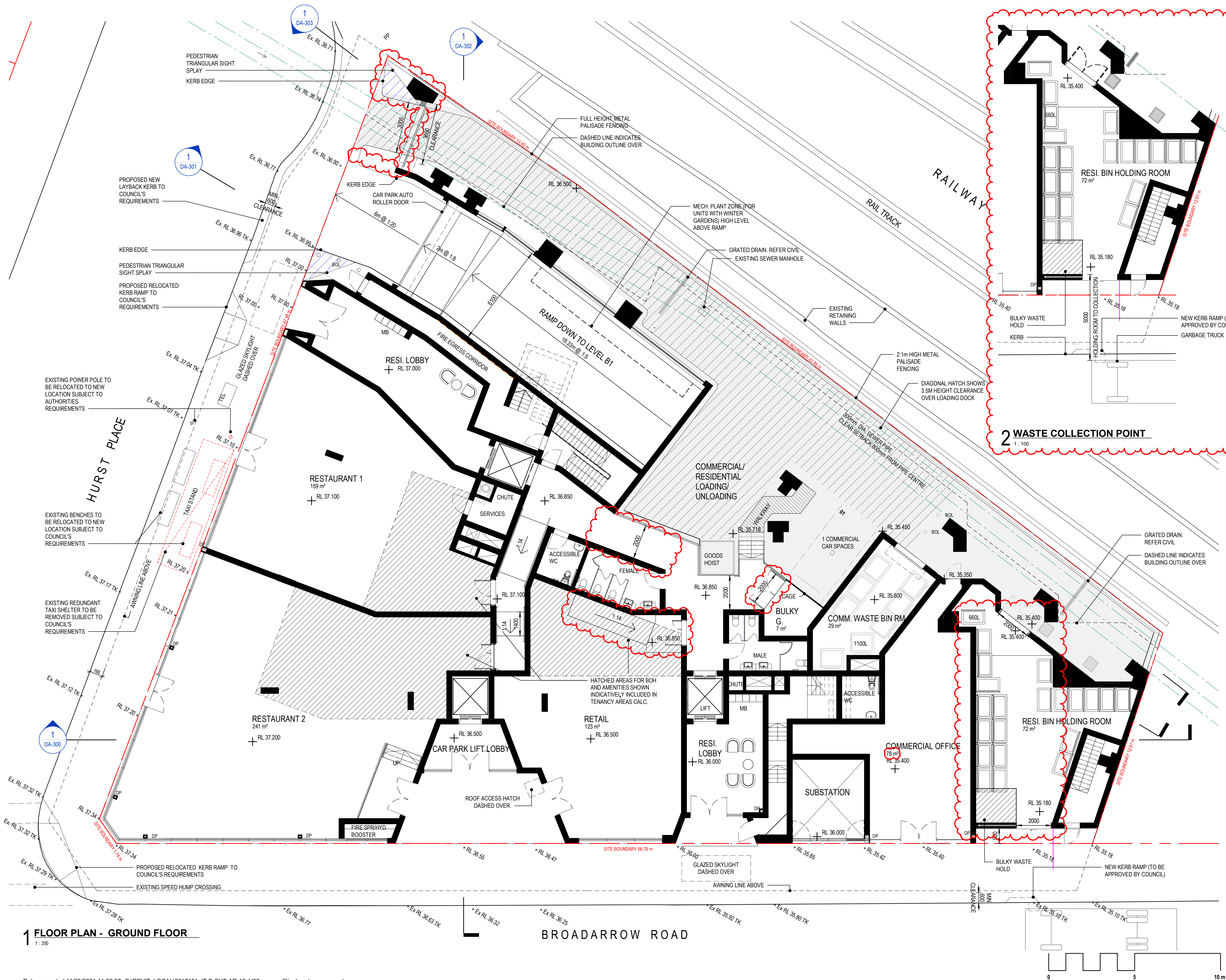
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PROJECT No. 2017151 A DISCP. DA-109 ISSUE 4

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DRAWING
FLOOR PLAN - GROUND
FLOOR

DATE
06/02/16

SCALE @ A3
1 : 200

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PROJECT No.
2017151 A

DISC.
DA-110

ISSUE
4

PROJECT
NARWEE MIXED USE DEVELOPMENT

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1 FLOOR PLAN - GROUND FLOOR
1 : 200

1 FLOOR PLAN - LEVEL 1

1 : 200



LEVEL 1					
Storage (m ²)					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L01-01	2 BED	5.9	4.0	9.89	8
L01-02	1 BED	3.9	3.0	6.91	6
L01-03	2 BED	4.8	4.0	8.78	8
L01-04	1 BED	3.9	3.0	6.91	6
L01-05	2 BED	4.2	4.0	8.16	8
L01-06	STUDIO	4.1	2.0	6.07	4
L01-08	2 BED	8.9	4.0	12.88	8
L01-09	1 BED	3.2	3.0	6.19	6
L01-10	2 BED	4.6	4.0	8.61	8
L01-11	2 BED	6.1	4.0	10.08	8
L01-12	1 BED	4.8	3.0	7.8	6
L01-13	1 BED	4.8	3.0	7.8	6

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/19
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

LEGEND:

- FGL FIXED GLAZED WINDOW
AW AWNING WINDOW
LVR LOUVRE WINDOW
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL
CLIENT
MR & MRS COSTAS

DRAWING
FLOOR PLAN - LEVEL 1

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL
PROJECT No. 2017151 A DISCP. DA-111 ISSUE 4

PROJECT
NARWEE MIXED USE DEVELOPMENT

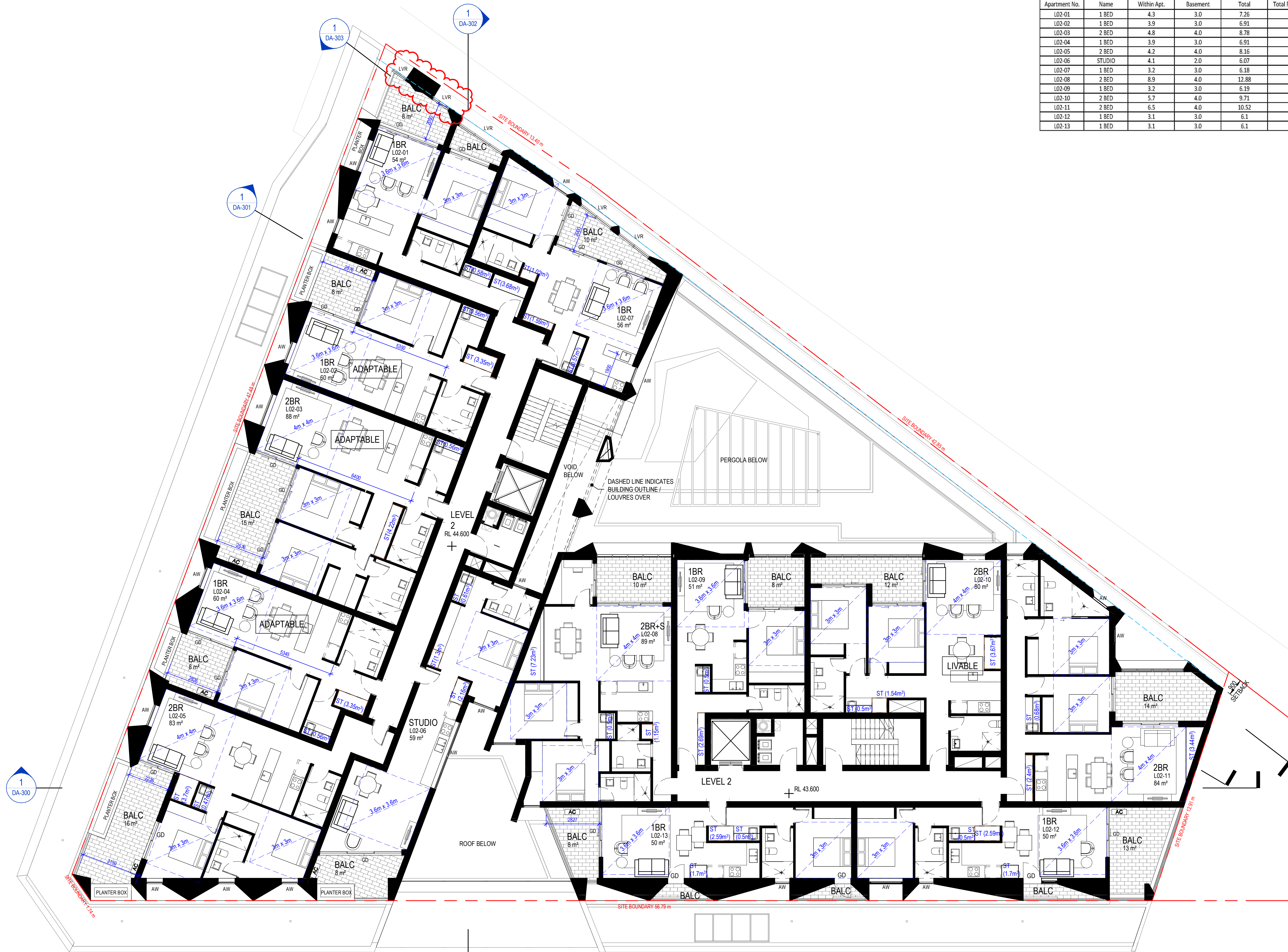
Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6990), Daniel Hudson (8315)

JACKSON TEECE

1 FLOOR PLAN - LEVEL 2

1 : 200

Date generated:11/05/2021 10:54:20 C:\REVIT_LOCAL\2017151-JT-B-SHT-AR-18_V02_canson@jacksonteece.com.rvt
AM



LEVEL 2					
Storage (m ²)					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L02-01	1 BED	4.3	3.0	7.26	6
L02-02	1 BED	3.9	3.0	6.91	6
L02-03	2 BED	4.8	4.0	8.78	8
L02-04	1 BED	3.9	3.0	6.91	6
L02-05	2 BED	4.2	4.0	8.16	8
L02-06	STUDIO	4.1	2.0	6.07	4
L02-07	1 BED	3.2	3.0	6.18	6
L02-08	2 BED	8.9	4.0	12.88	8
L02-09	1 BED	3.2	3.0	6.19	6
L02-10	2 BED	5.7	4.0	9.71	8
L02-11	2 BED	6.5	4.0	10.52	8
L02-12	1 BED	3.1	3.0	6.1	6
L02-13	1 BED	3.1	3.0	6.1	6

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

- LEGEND:
- FGL FIXED GLAZED WINDOW
 - AW AWNING WINDOW
 - LVR LOUVRE WINDOW
 - GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CLIENT: MR & MRS COSTAS

CHECKED BY: JL

DRAWING
FLOOR PLAN - LEVEL 2

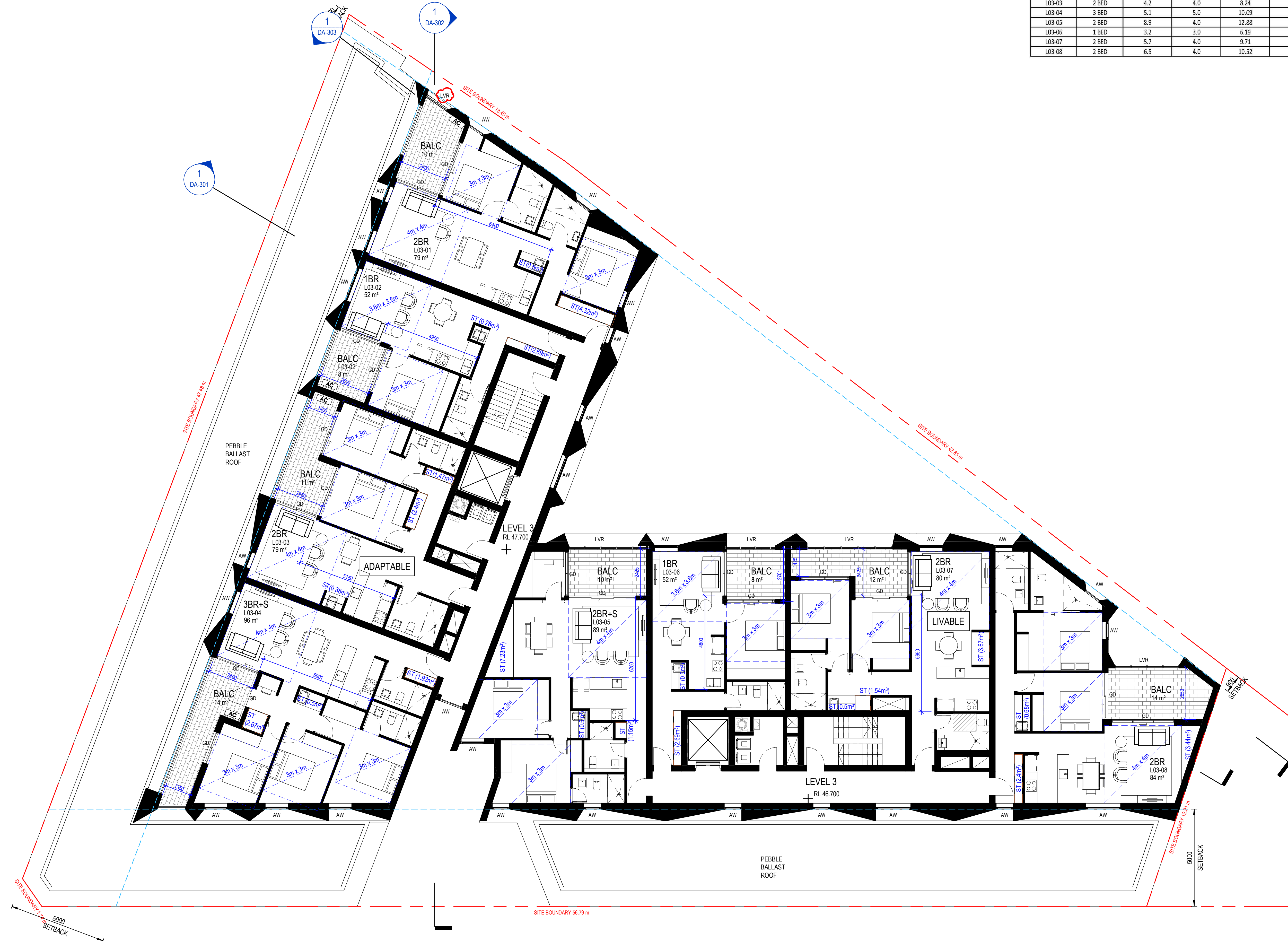
DATE 09/25/18	SCALE @ A3 1 : 200	DRAWN JL/PL
PROJECT No. 2017151 A	DISC. DA-112	ISSUE 4
PROJECT NARWEE MIXED USE DEVELOPMENT		

Lot 1, Pier 8-9, 23 Hickson Road
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ABN 15 683 837 590
Nominated Architects: Damian Barker (8192), John Gove (6990), Daniel Hudson (8315)

JACKSON TEECE

1 FLOOR PLAN - LEVEL 3

1 : 200



LEVEL 3					
Storage (m ²)					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L03-01	2 BED	4.8	4.0	8.82	8
L03-02	1 BED	3.0	3.0	5.97	6
L03-03	2 BED	4.2	4.0	8.24	8
L03-04	3 BED	5.1	5.0	10.09	10
L03-05	2 BED	8.9	4.0	12.88	8
L03-06	1 BED	3.2	3.0	6.19	6
L03-07	2 BED	5.7	4.0	9.71	8
L03-08	2 BED	6.5	4.0	10.52	8

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

LEGEND:

FGL FIXED GLAZED WINDOW
AW AWNING WINDOW
LVR LOUVRE WINDOW
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL
CLIENT
MR & MRS COSTAS

DRAWING
FLOOR PLAN - LEVEL 3

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL
PROJECT No. DISCP. DRAWING No. ISSUE
2017151 A DA-113 4

PROJECT
NARWEE MIXED USE DEVELOPMENT

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Walsh Bay New South Wales 2000 Australia
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E sydney@jacksonteece.com
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Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

JACKSON TEECE

1 FLOOR PLAN - LEVEL 4 - 6 (TYPICAL)

1 : 200

LEVEL 4					
Storage (m ²)					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L04-01	2 BED	4.8	4.0	8.82	8
L04-02	1 BED	3.0	3.0	5.97	6
L04-03	2 BED	5.5	4.0	9.53	8
L04-04	3 BED	5.1	5.0	10.09	10
L04-05	2 BED	8.9	4.0	12.88	8
L04-06	1 BED	3.2	3.0	6.19	6
L04-07	2 BED	5.7	4.0	9.71	8
L04-08	2 BED	6.5	4.0	10.52	8

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

LEGEND:

FGL FIXED GLAZED WINDOW
AW AWNING WINDOW
LVR LOUVRE WINDOW
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
FLOOR PLAN - LEVEL 4-6

DATE 08/28/18 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DRAWING No. DA-114 ISSUE 4

PROJECT
NARWEE MIXED USE DEVELOPMENT

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E sydney@jacksonteece.com
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Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

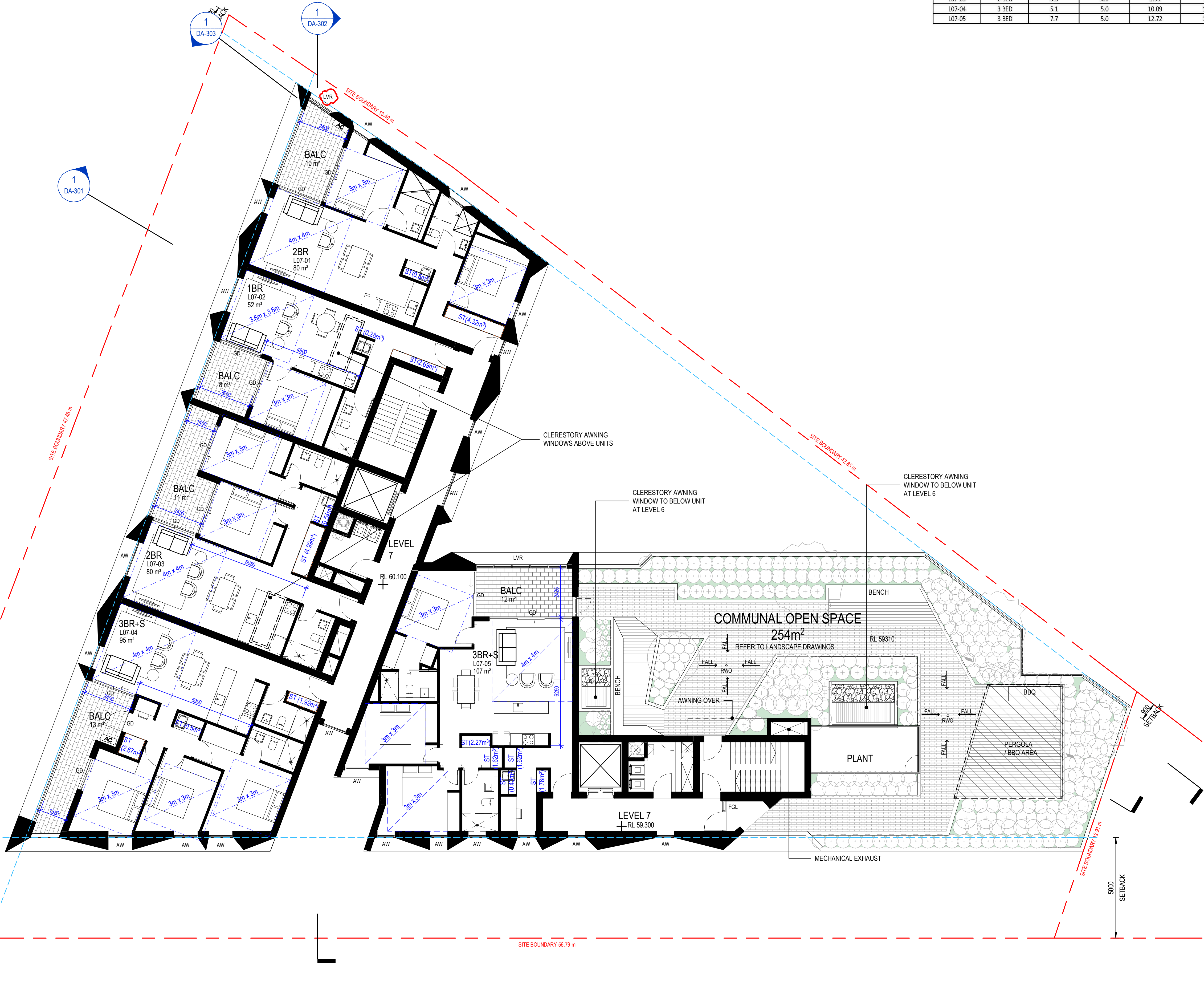
JACKSON TEECE

LEVEL 7					
Storage (m ²)					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L07-01	2 BED	4.8	4.0	8.82	8
L07-02	1 BED	3.0	3.0	5.97	6
L07-03	2 BED	5.5	4.0	9.53	8
L07-04	3 BED	5.1	5.0	10.09	10
L07-05	3 BED	7.7	5.0	12.72	10

AMENDMENTS			
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/09/21

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AMENDMENTS			
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/09/21



LEGEND:

FGL FIXED GLAZED WINDOW
AW AWNING WINDOW
LVR LOUVRE WINDOW
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL
CLIENT: MR & MRS COSTAS

DRAWING: FLOOR PLAN - LEVEL 7

DATE: 09/25/18 SCALE @ A3: 1 : 200 DRAWN: JL/PL

PROJECT No. 2017151 A DISCP. DA-115 ISSUE 4

PROJECT: NARWEE MIXED USE DEVELOPMENT

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Nominated Architects: Damian Barker (8192), John Gore (6990), Daniel Hudson (8315)

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1 FLOOR PLAN - LEVEL 7

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO
900mm ABOVE FINISHED FLOOR LEVEL WITH AN
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
ROOF PLAN

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-121 DRAWING No. DA-121 ISSUE 4

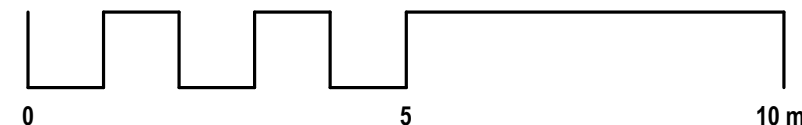
PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
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T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
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Trading as Jackson Teece
ABN 15 083 807 590
Nominated Architects: Damian Barker (8192), John Goe (6790), Daniel Hudson (8315)

JACKSON TEECE

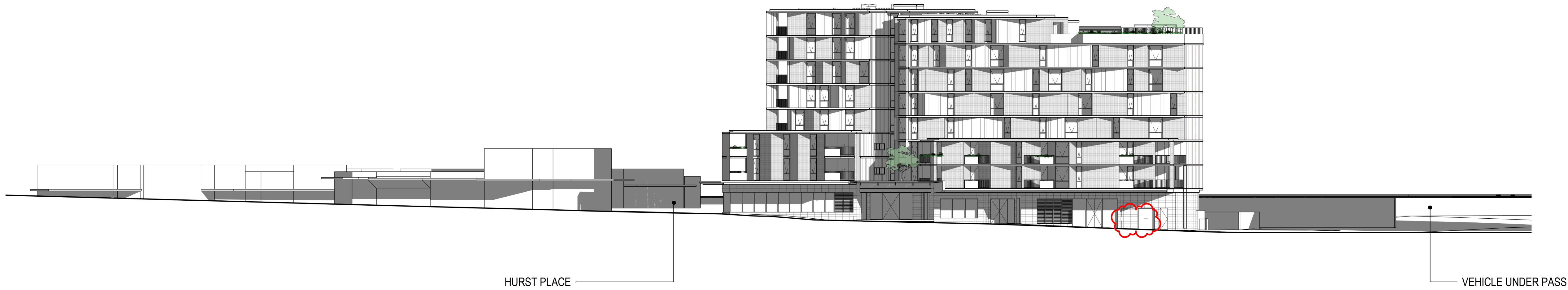
1 ROOF PLAN

1 : 200



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
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1 STREET ELEVATION - BROADARROW ROAD

1 : 600



2 STREET ELEVATION - HURST PLACE

1 : 600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

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DRAWING
STREETSCAPE ELEVATIONS

DATE	SCALE @ A3	DRAWN
06/02/16	1 : 600	JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-200	4

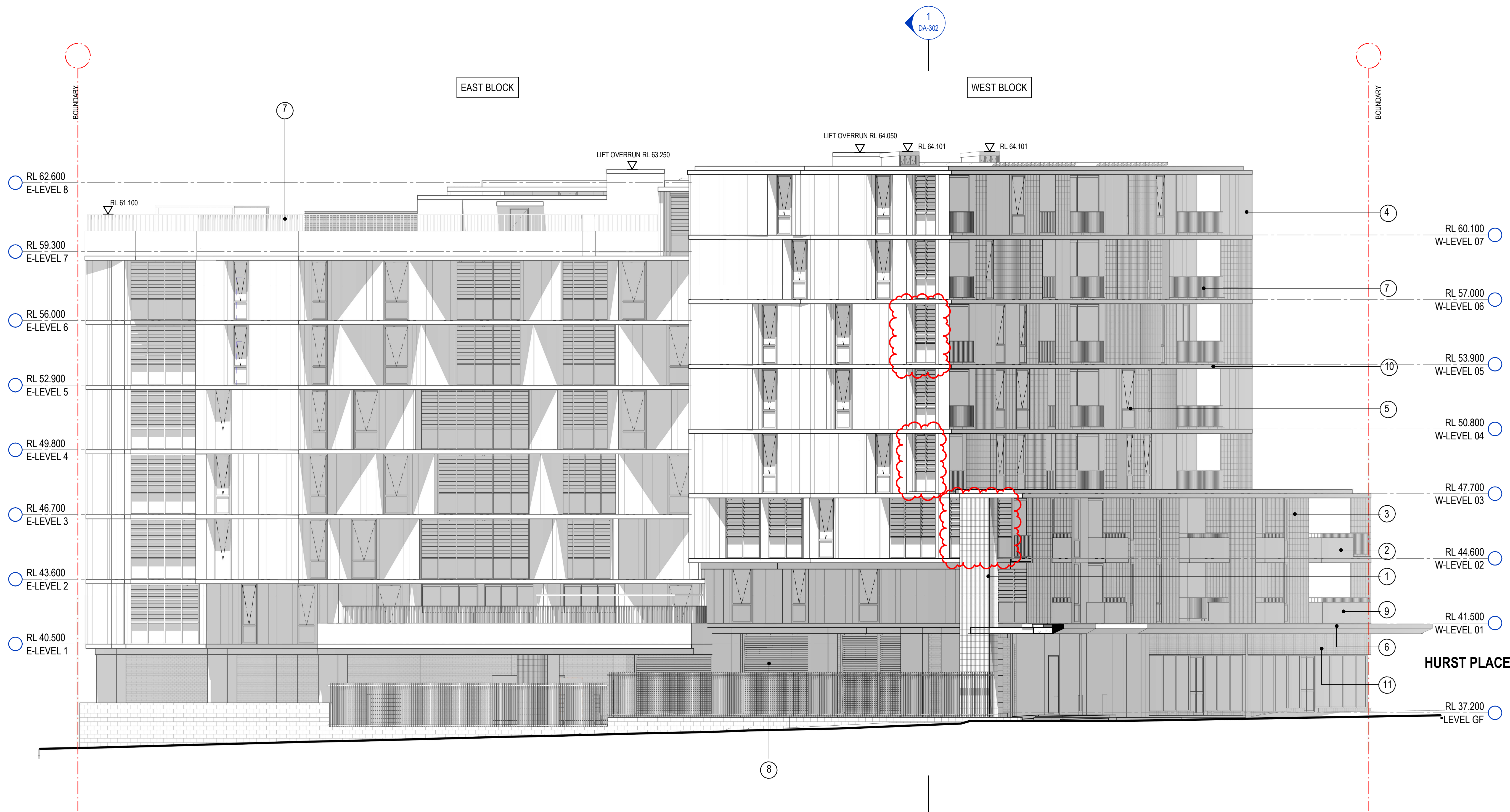
PROJECT
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Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



1 NORTH ELEVATION

1 : 200

GENERAL NOTE:

FULL HEIGHT FAÇADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING
WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
ELEVATIONS - 01

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-201		4
PROJECT NARWEE MIXED USE DEVELOPMENT			

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Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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AMENDMENTS



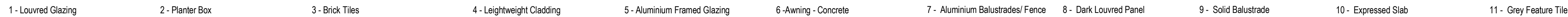
FULL HEIGHT FACADE WINDOWS TO APARTMENTS
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING
WINDOW ABOVE.

SECTION 8.2 ISSUE

CLIENT
MR & MRS COSTAS

PROJECT
NARWEE MIXED USE DEVELOPMENT

JACKSON TEECE



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



1 SOUTH ELEVATION (BROADARROW ROAD)

1 : 200



SECTION 8.2 ISSUE

APPROVED BY: CA
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CLIENT: MR & MRS COSTAS

DRAWING ELEVATIONS - 03

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-203		4
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road
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Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/09/21



1 WEST ELEVATION (HURST PLACE)

1 : 200

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING ELEVATIONS - 04

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-204		4
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road
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Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

JACKSON TEECE



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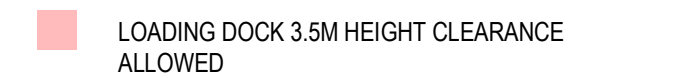
APPROVED BY: CA
CHECKED BY: JL
CLIENT
MR & MRS COSTAS

DATE	SCALE @ A3	DRAWN
06/02/16	1 : 200	JL/PL

PROJECT
NARWEE MIXED USE DEVELOPMENT

JACKSON TEECE





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APPROVED BY: CA
CHECKED BY: JL

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MR & MRS COSTAS

DRAWING
SECTION - 02PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
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T 61 2 9290 2722 F 61 2 9290 1150
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Trading as Jackson Teece
ABN 15 083 837 290
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/09/21



1 SECTION 03
1 : 200

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SECTION 8.2 ISSUE

APPROVED BY: CA
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DRAWING SECTIONS - 03

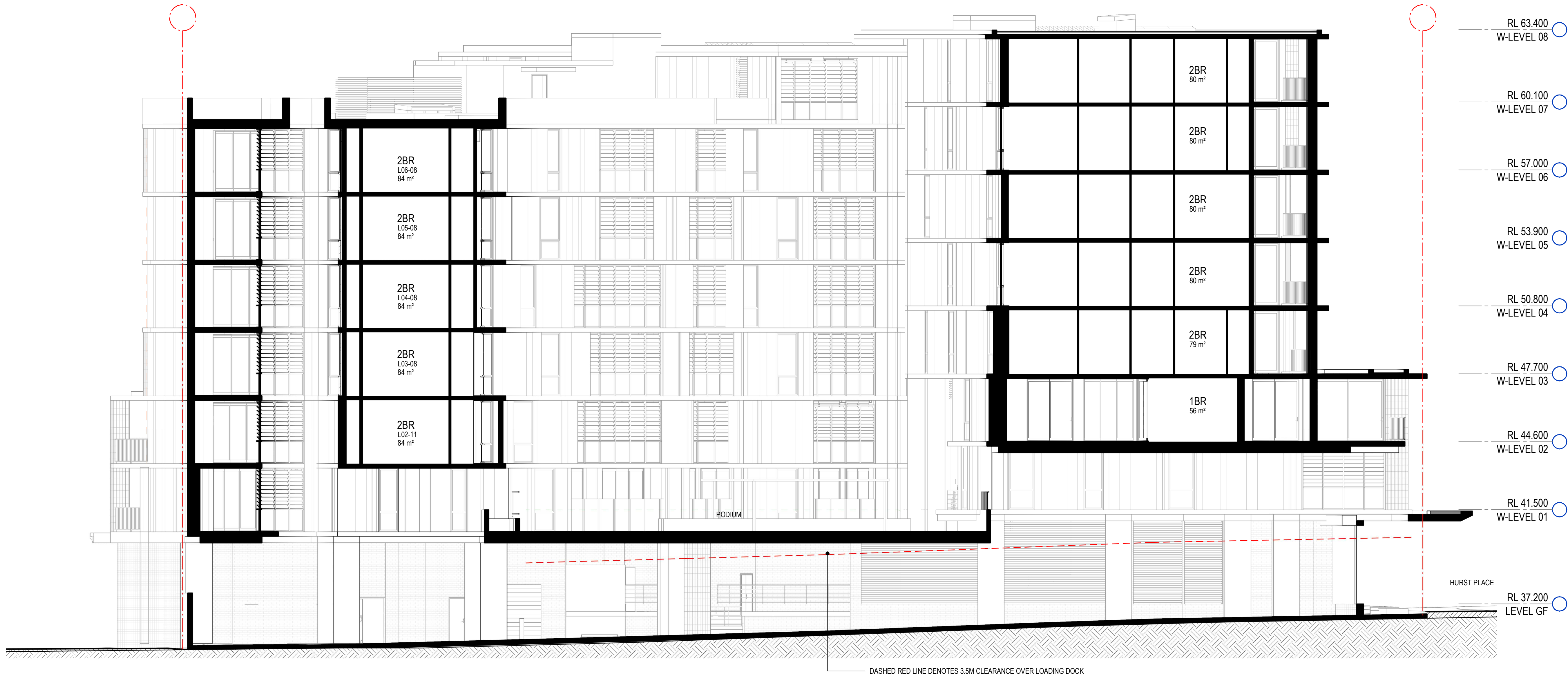
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PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-302		4
PROJECT NARWEE MIXED USE DEVELOPMENT			

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E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	ISSUE FOR SECTION 8.2	CA	11/05/21



1 COMMERCIAL LOADING DOCK HEIGHT CLEARANCE
1 : 100

DASHED RED LINE DENOTES 3.5M CLEARANCE OVER LOADING DOCK

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
SECTIONS - 04

DATE	SCALE @ A3	DRAWN	
03/24/21	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-303		1

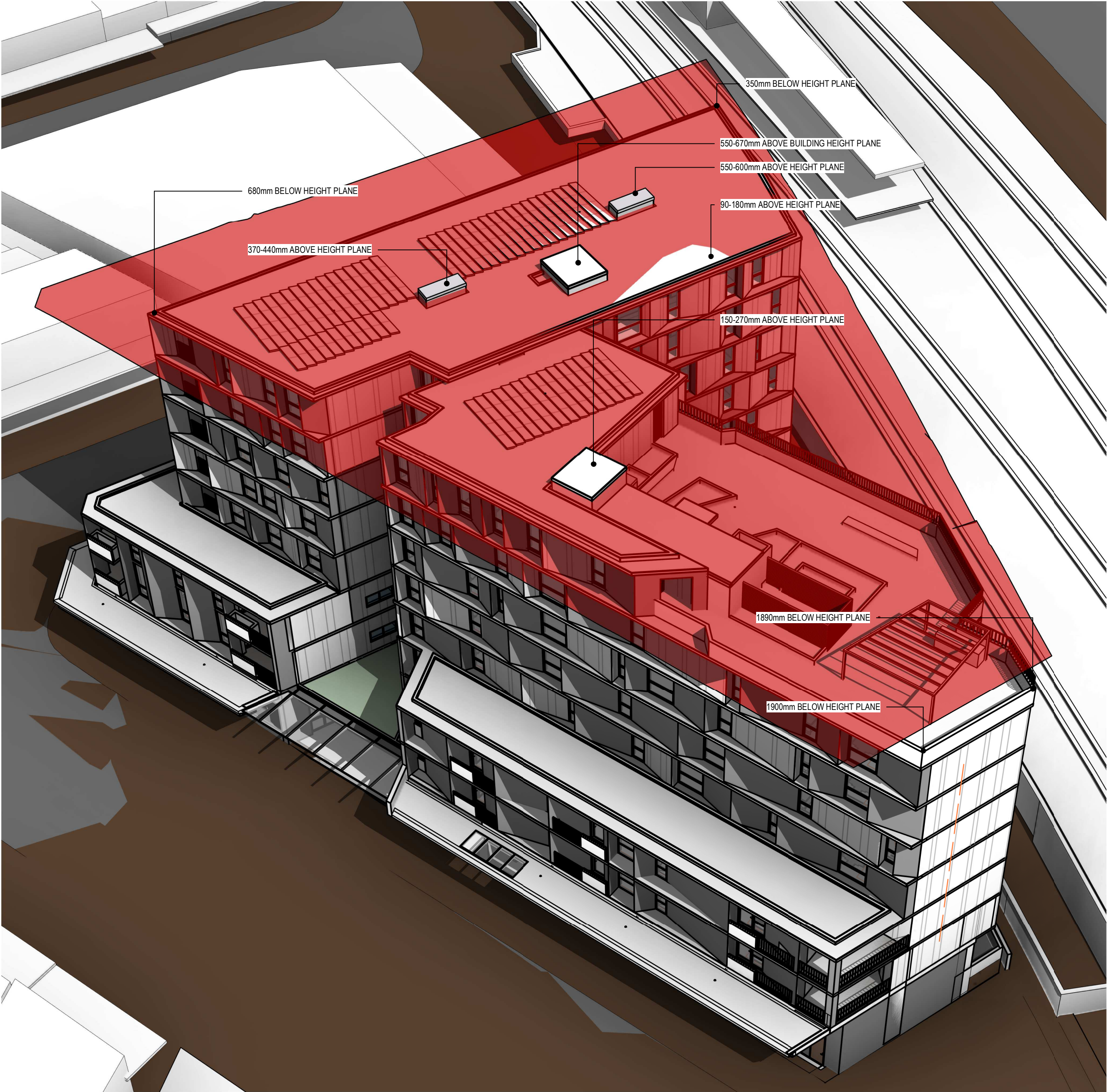
PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 390
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/09/21



1 HEIGHT PLANE DIAGRAM



THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
BUILDING HEIGHT PLANE

DATE 09/05/18 SCALE @ A3 DRAWN JL/PL

PROJECT No. 2017151 DRAWING No. DA-400 ISSUE 4

PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
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JACKSON TEECE

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2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



PHOTOMONTAGE VIEW FROM BROADARROW ROAD

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL
CLIENT
MR & MRS COSTAS

DRAWING
PHOTOMONTAGES

DATE	SCALE @ A3	DRAWN
06/02/16		JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-401	4
PROJECT NARWEE MIXED USE DEVELOPMENT		

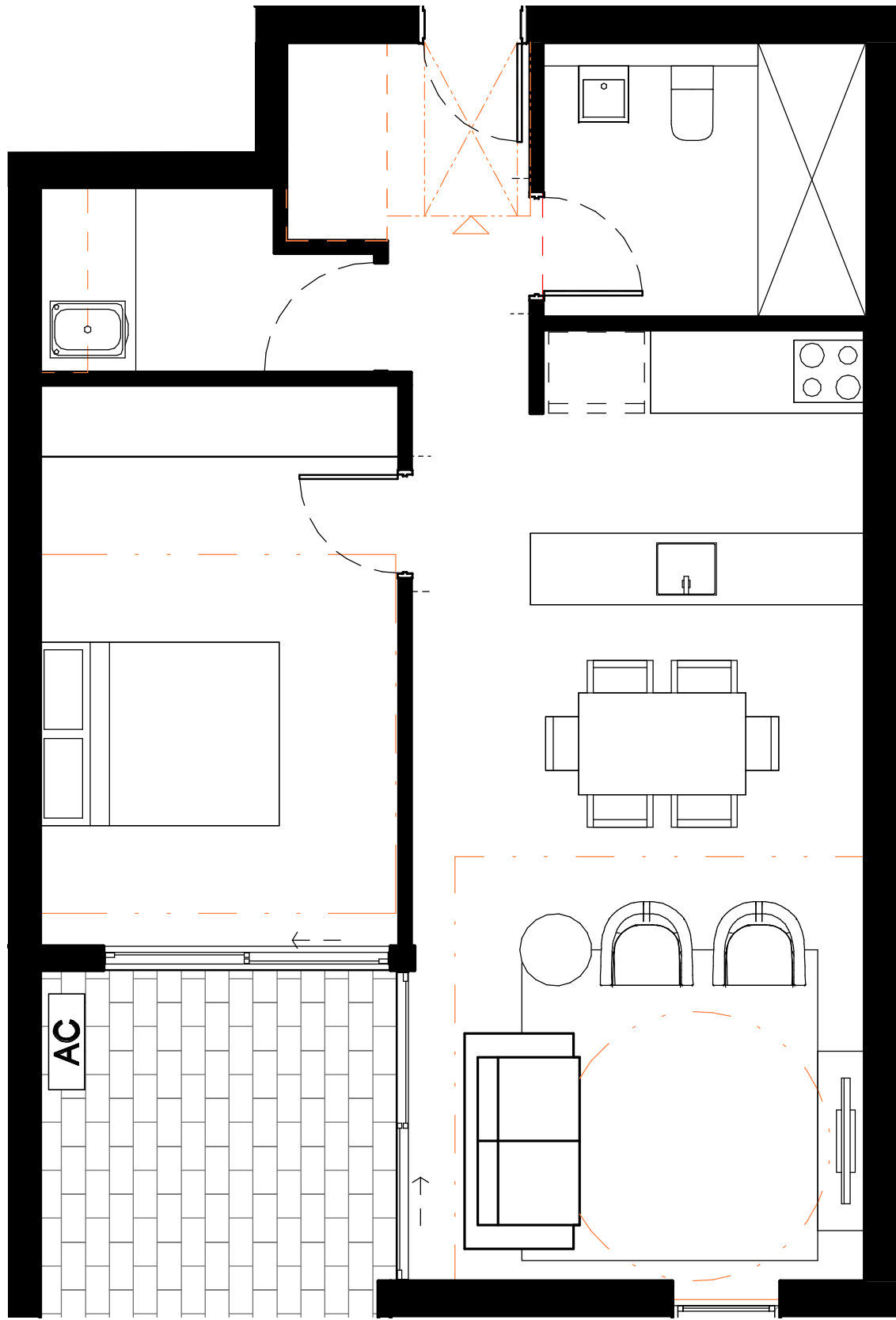
Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
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ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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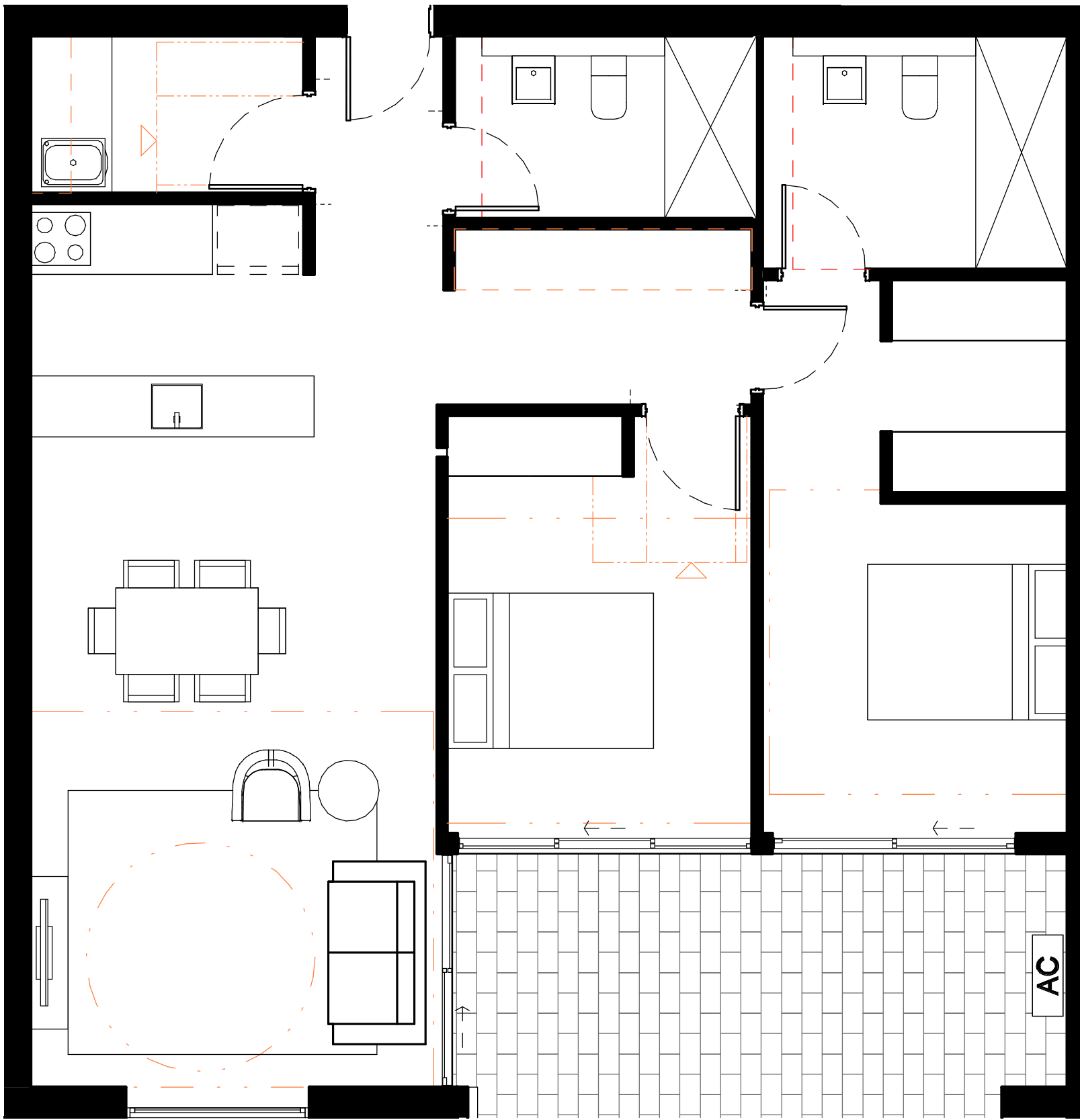
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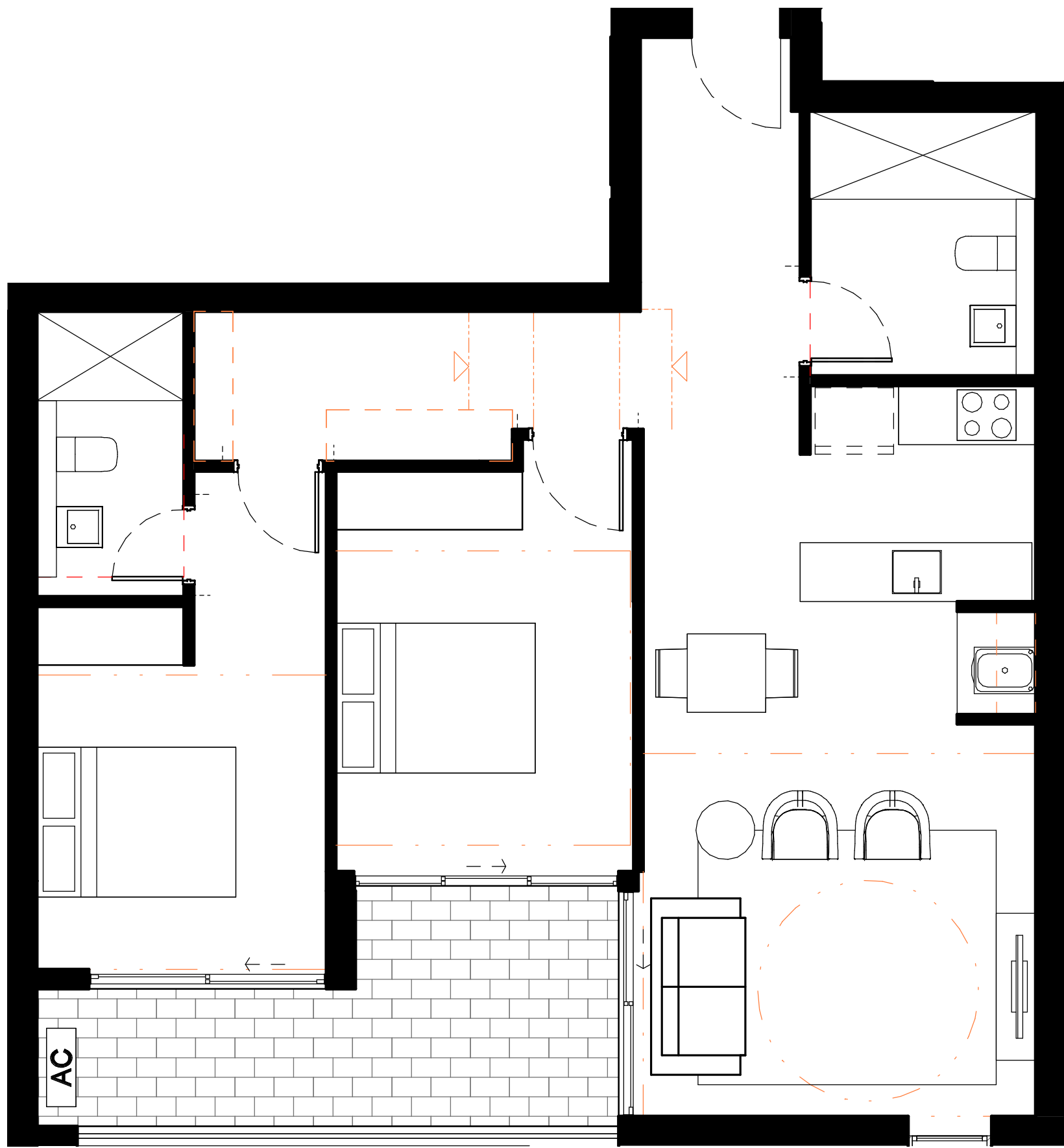
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



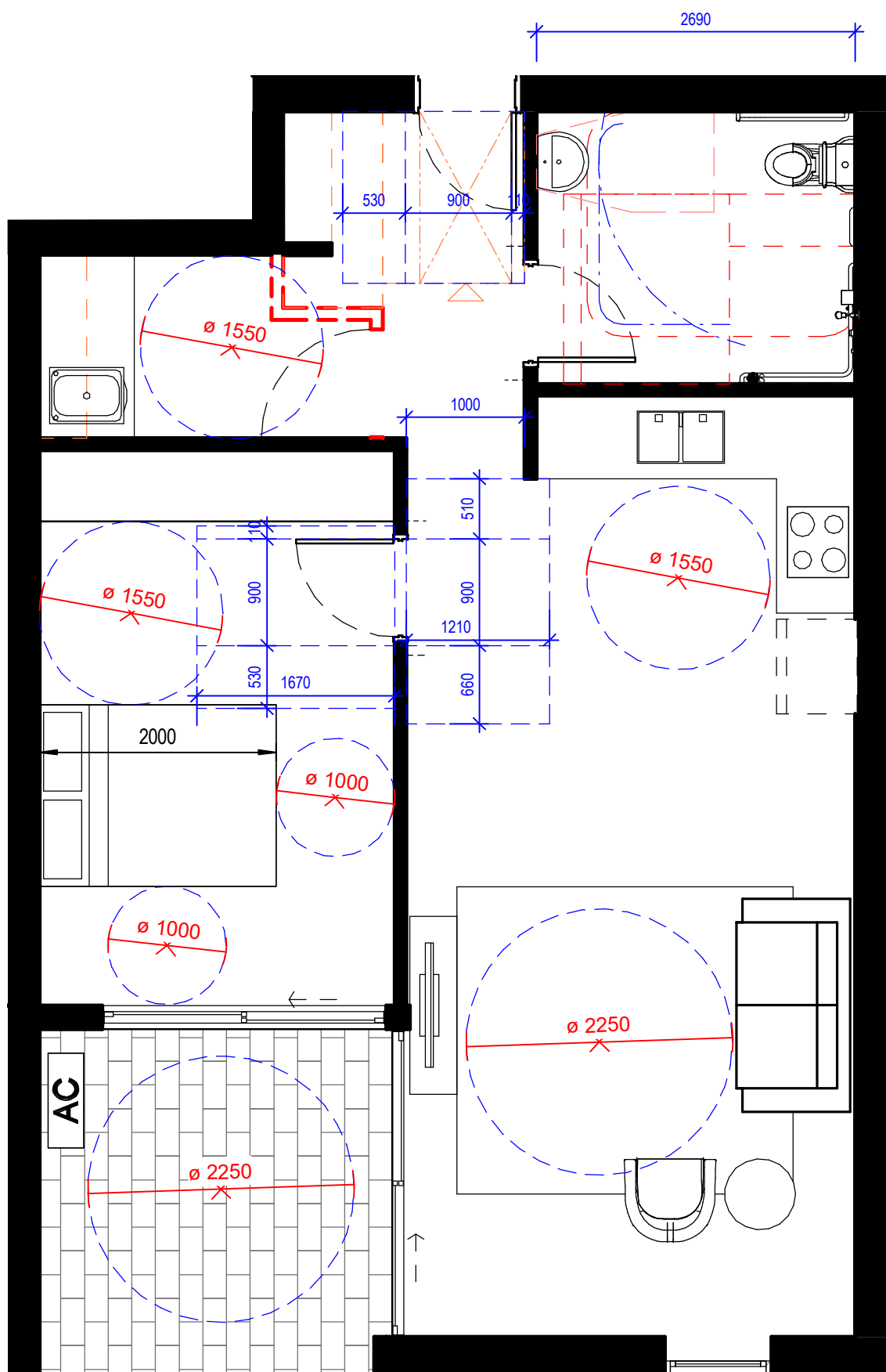
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1 : 100



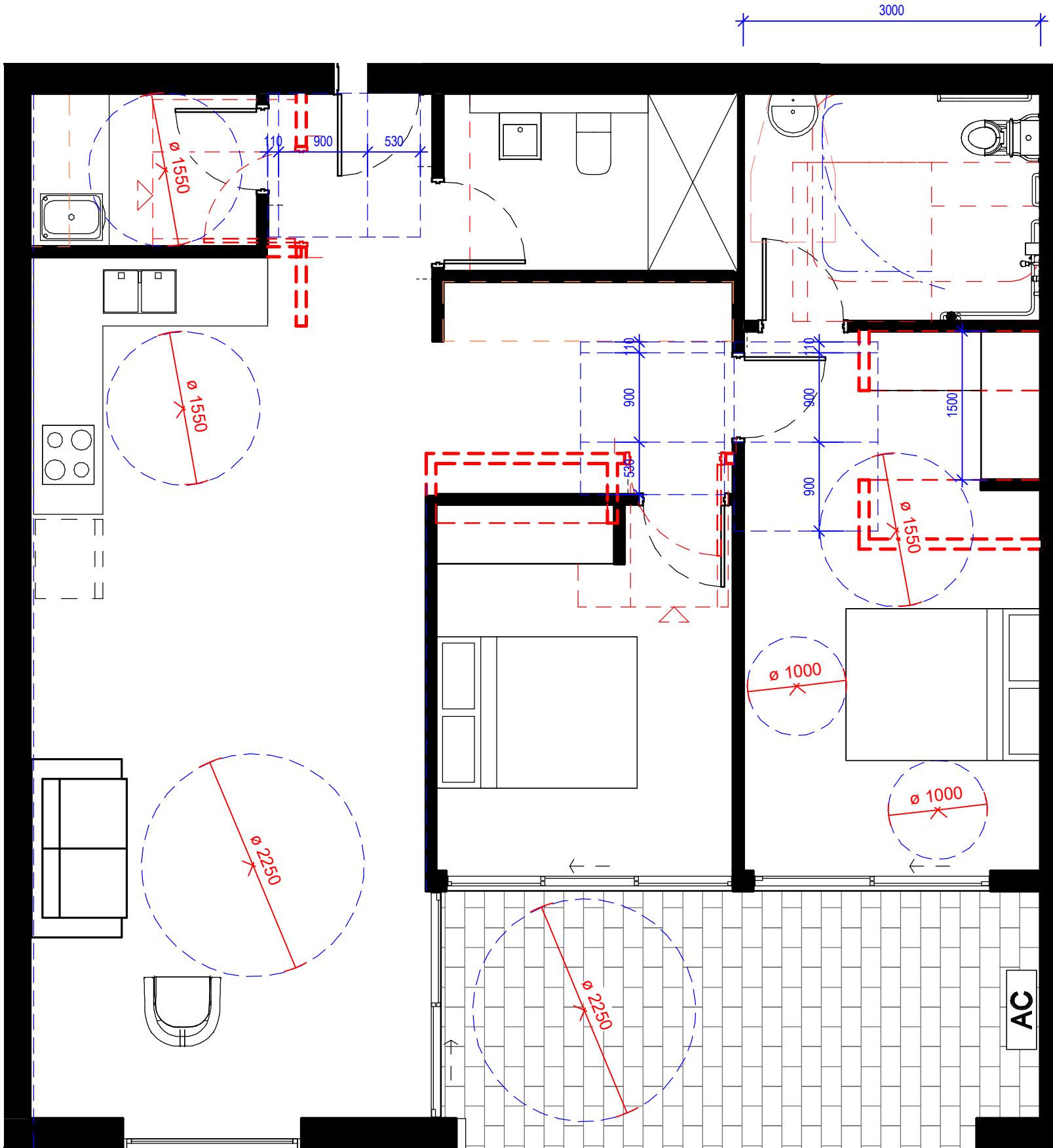
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1 : 100



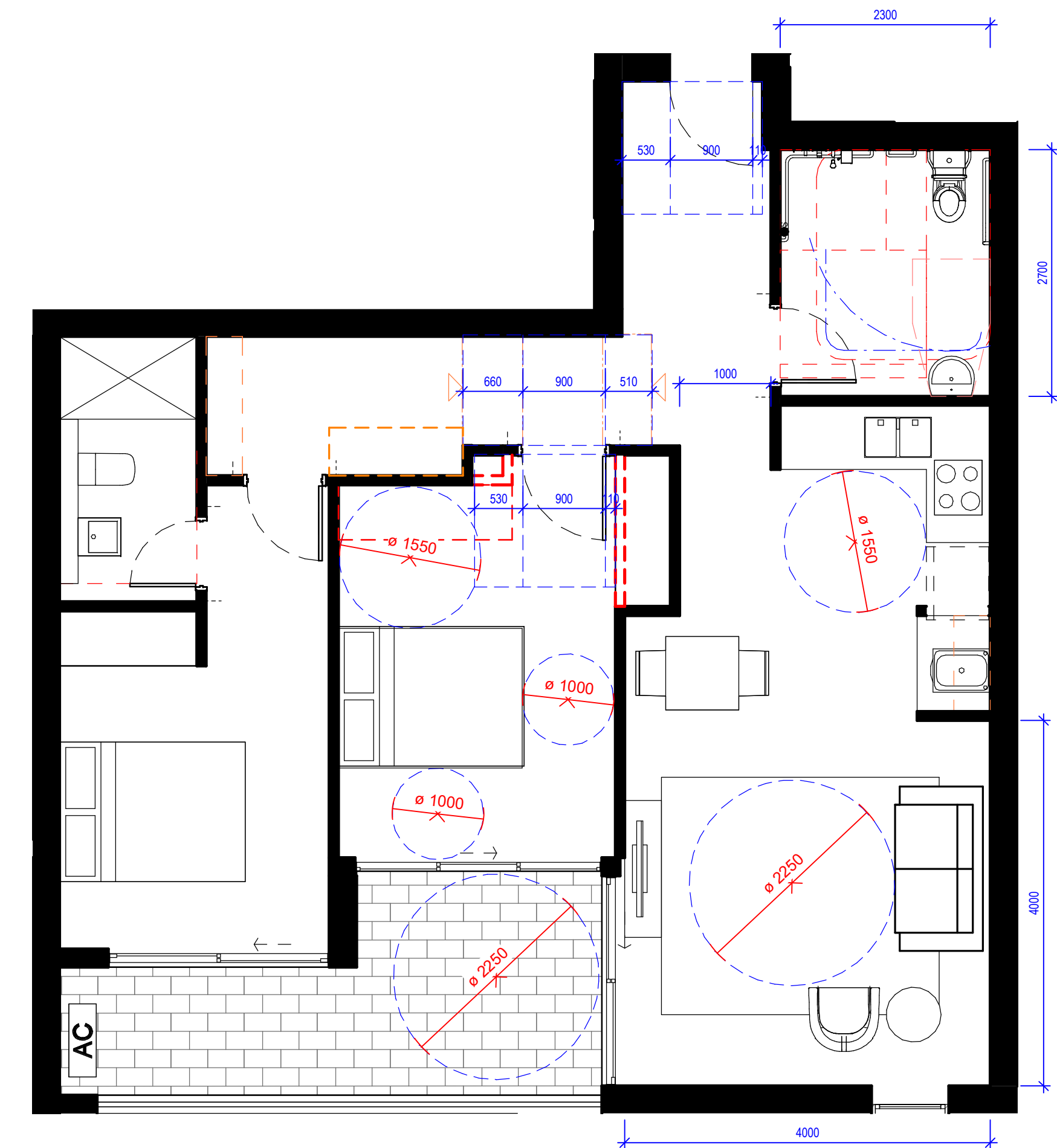
3 PRE-ADAPT - 2BED (L03-03)
1 : 100



4 POST-ADAPT - 1BED (L01-02, L01-04, L02-02, L02-04)
1 : 100



5 POST-ADAPT - 2BED (L01-03, L02-03)
1 : 100



6 POST-ADAPT - 2BED (L03-03)
1 : 100

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL

CLIENT
MR & MRS COSTAS

DRAWING
ADAPTABLE APARTMENT
LAYOUTS

DATE 09/20/18 SCALE @ A3 1 : 100 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-501 ISSUE 4

PROJECT
NARWEE MIXED USE DEVELOPMENT

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Nominated Architects: Damian Barker (8192), John Goe (6790), Daniel Hudson (8315)

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
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4	ISSUE FOR SECTION 8.2	CA	11/05/21

COMMON OPEN SPACE AREA

LEVEL 1	193m ²
ROOF TERRACE	252m ²
TOTAL AREA	445m ² (26%)

FLOOR SPACE RATIO

SITE AREA	1696m ²
GFA	6444m ²
FSR	3.80:1

AREA SCHEDULE (GFA)

LEVEL	GFA
GROUND FLOOR	877 m ²
LEVEL 1	967 m ²
LEVEL 2	1073 m ²
LEVEL 3	757 m ²
LEVEL 4	757 m ²
LEVEL 5	756 m ²
LEVEL 6	756 m ²
LEVEL 7	501 m ²
TOTALS	6444 m ²

APARTMENT MIX

UNIT TYPE	NUMBER	%
1BR	21	34%
2BR	27	44%
2BR+S	6	10%
3BR+S	6	10%
STUDIO	2	3%
TOTAL : 62	62	

CAR PARKING CALCULATION

LEVEL	NUMBER
LEVEL B4	26
LEVEL B3	26
LEVEL B2	35
LEVEL B1	27
LEVEL GF	1
TOTAL	115

APARTMENT CALCULATION

NAME	AMOUNT
W-LEVEL 01	
1BD+S	1
1BR	5
2BR	4
2BR+S	1
STUDIO	1
	12
W-LEVEL 02	
1BR	7
2BR	4
2BR+S	1
STUDIO	1
	13
W-LEVEL 03	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 04	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 05	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 06	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 07	
1BR	1
2BR	2
3BR+S	2
	5
TOTAL UNITS: 62	62

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SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL

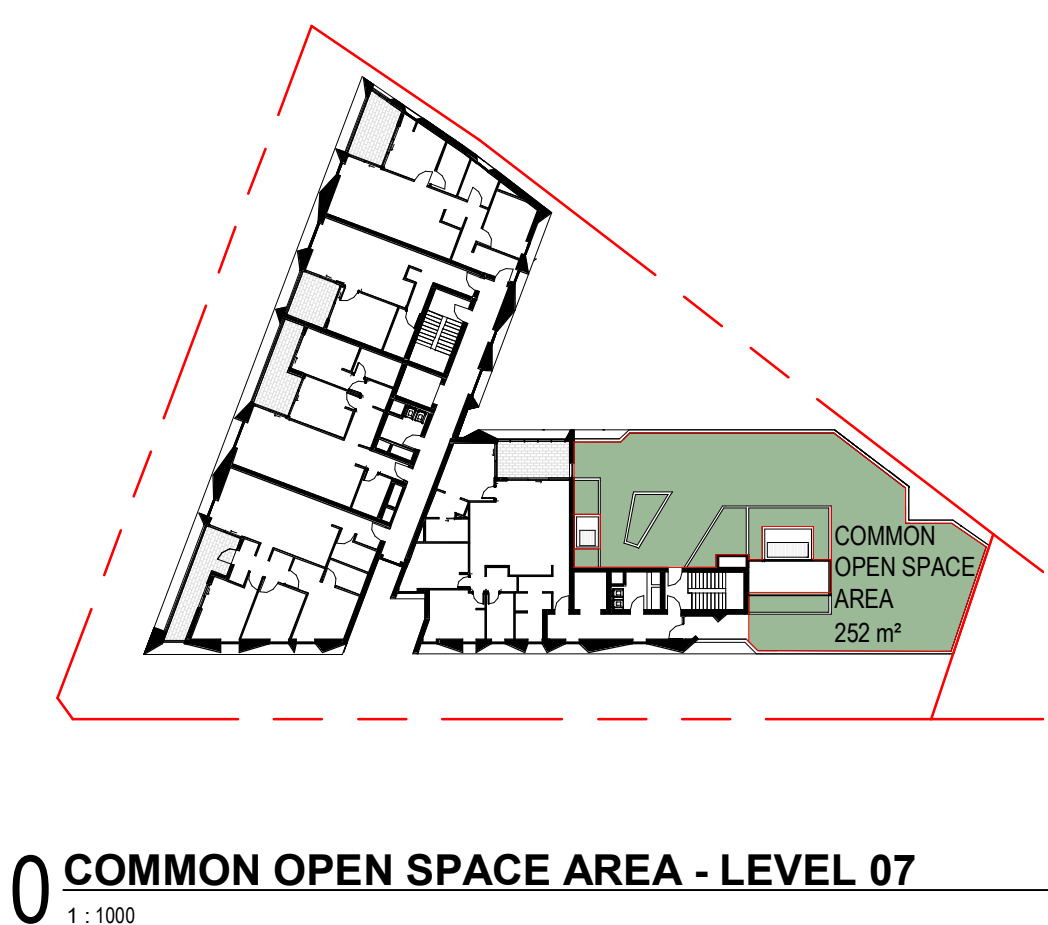
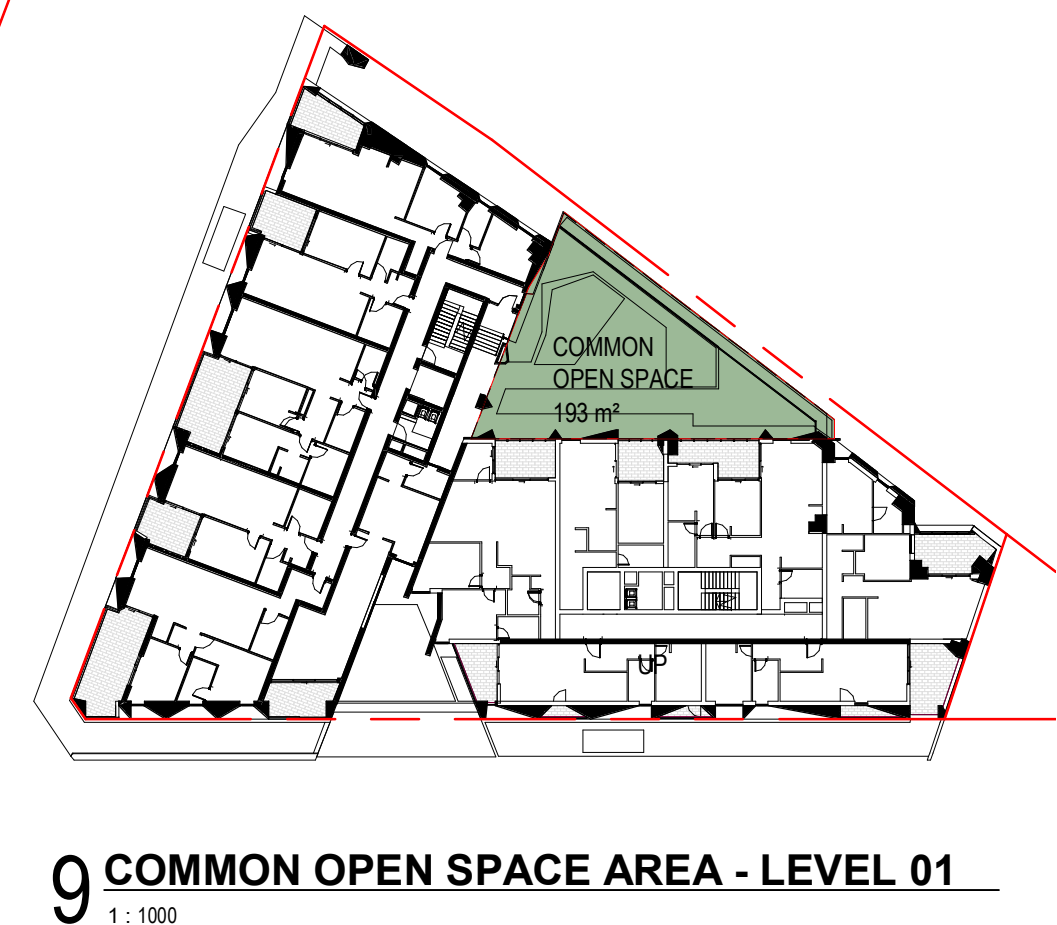
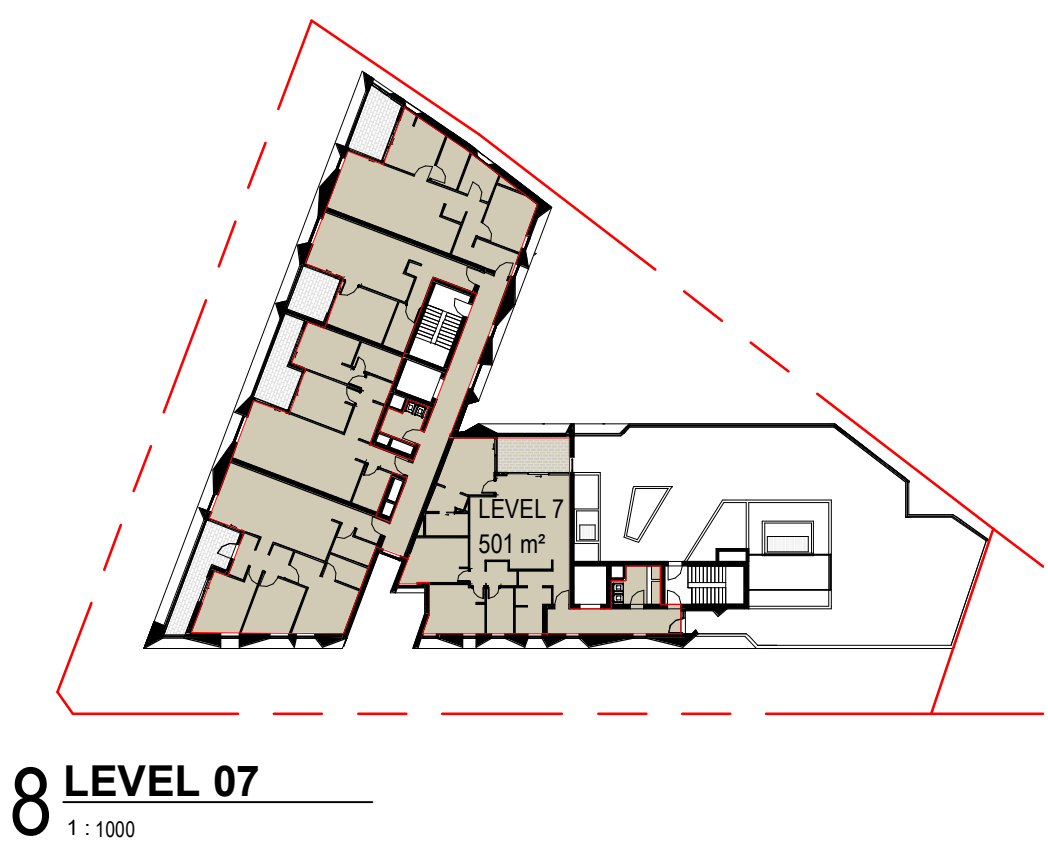
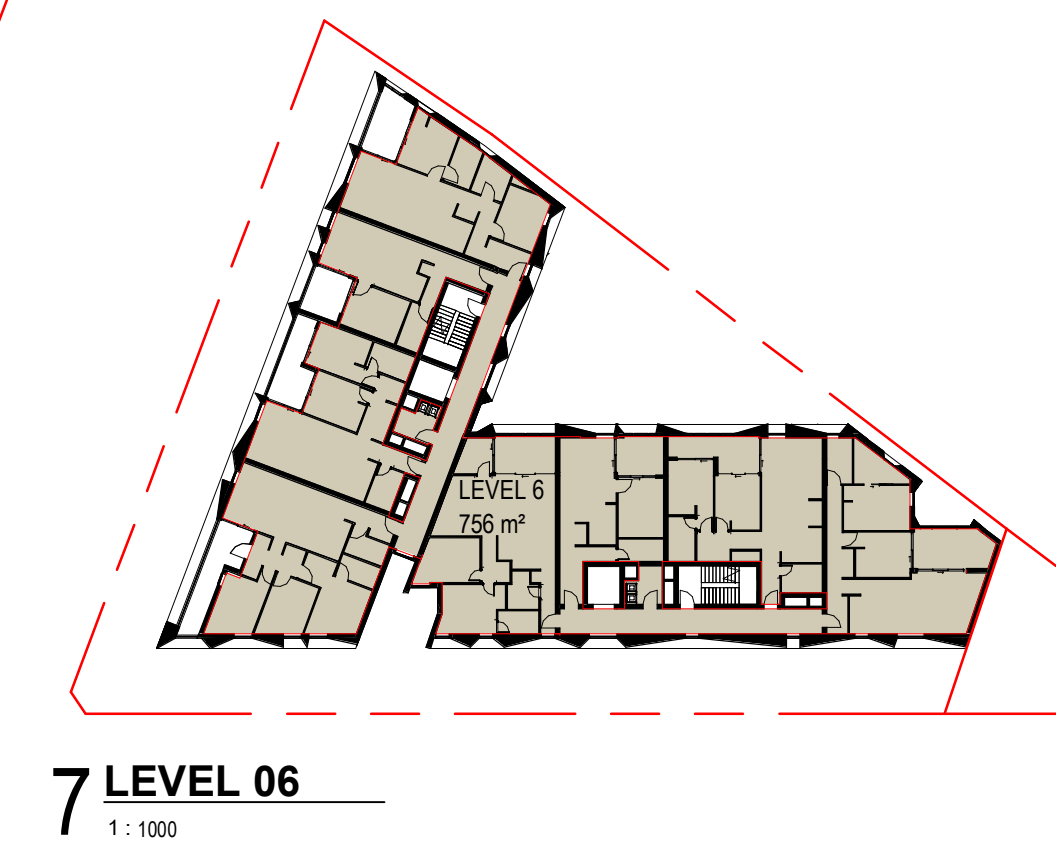
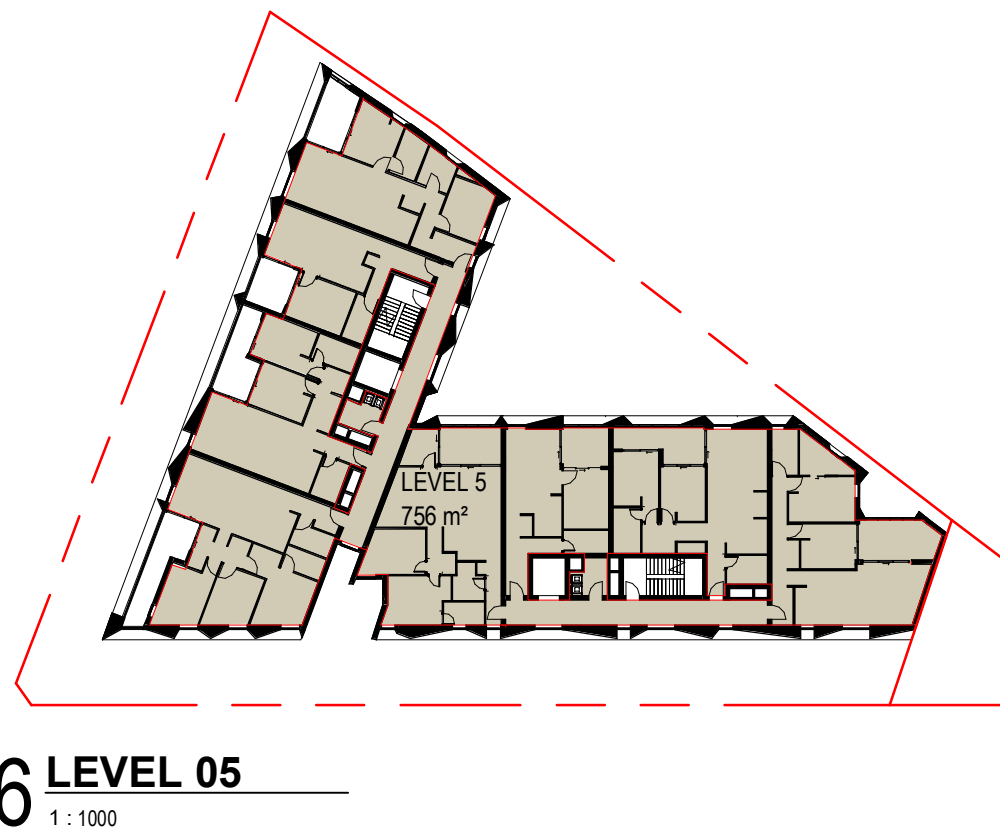
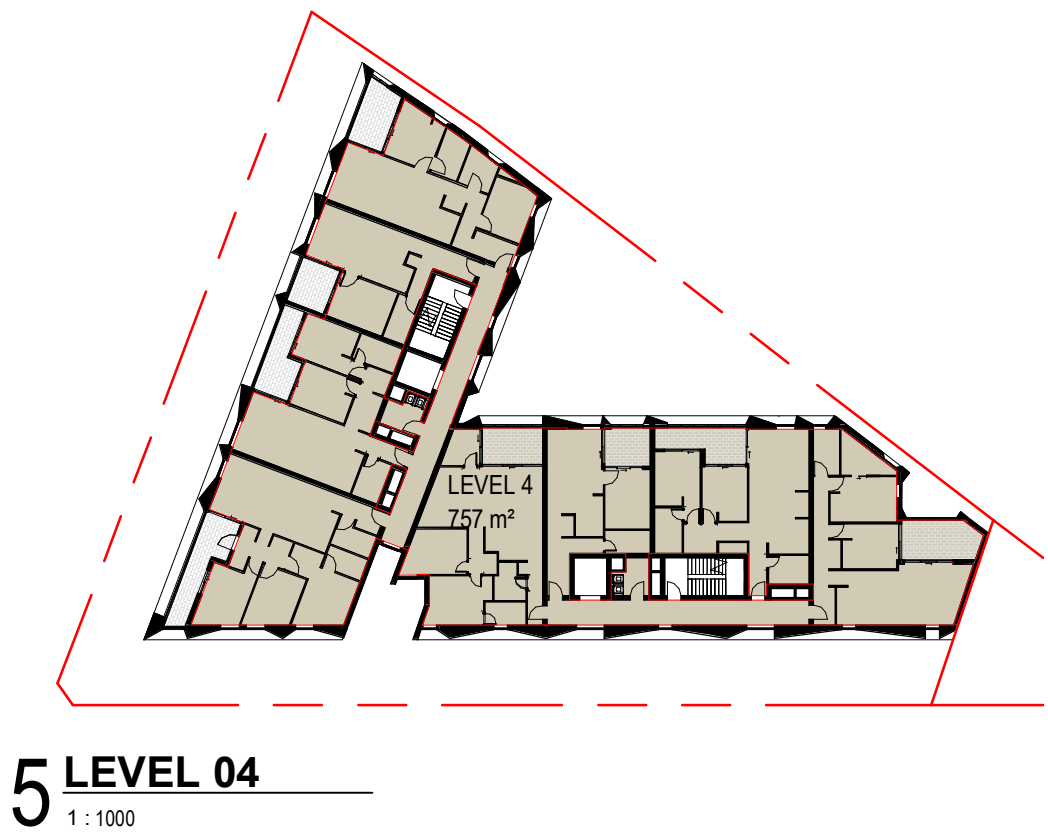
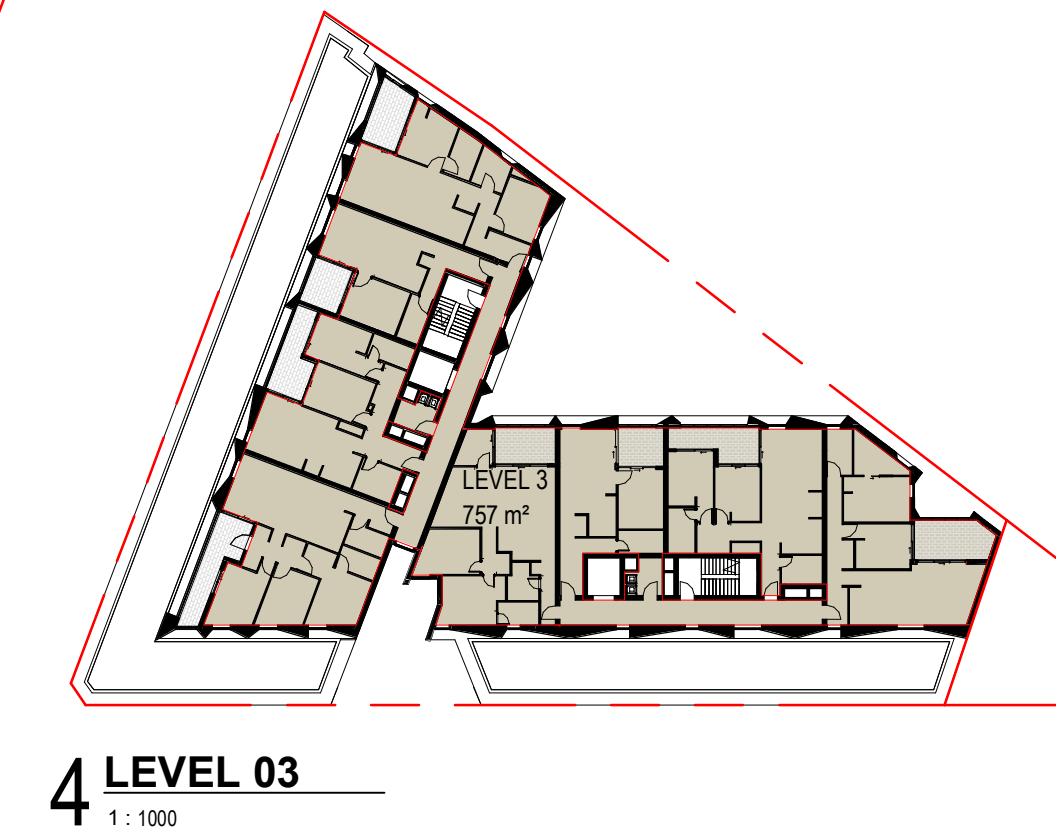
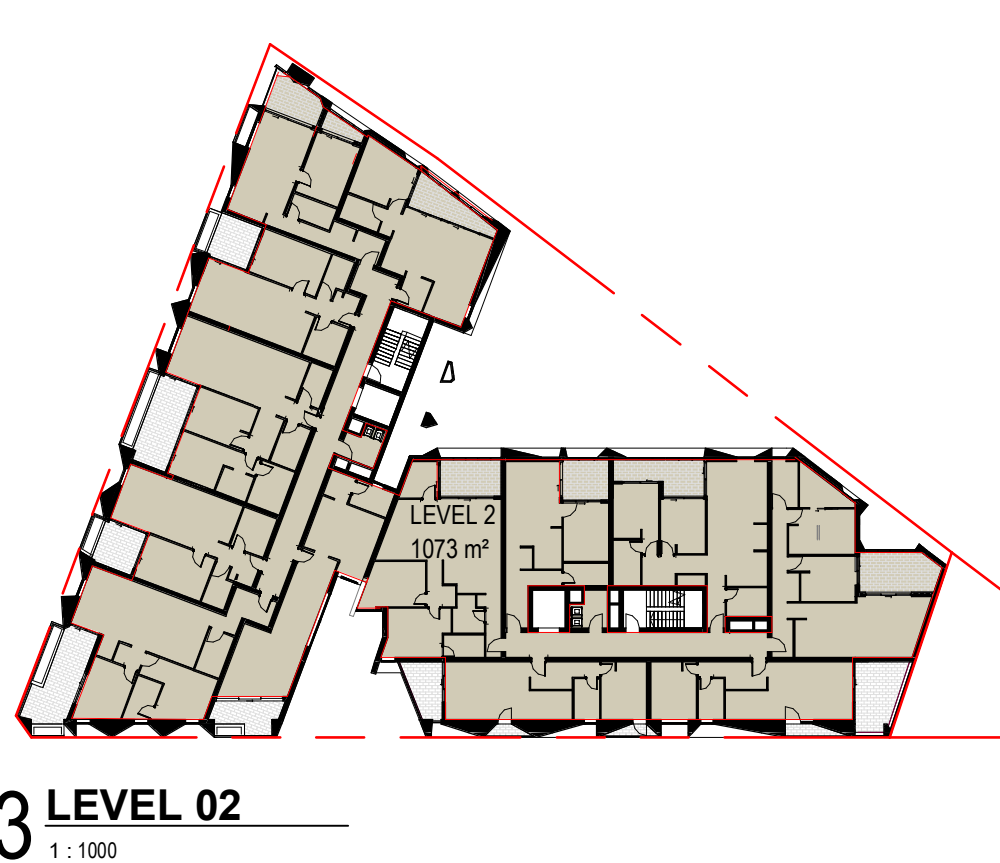
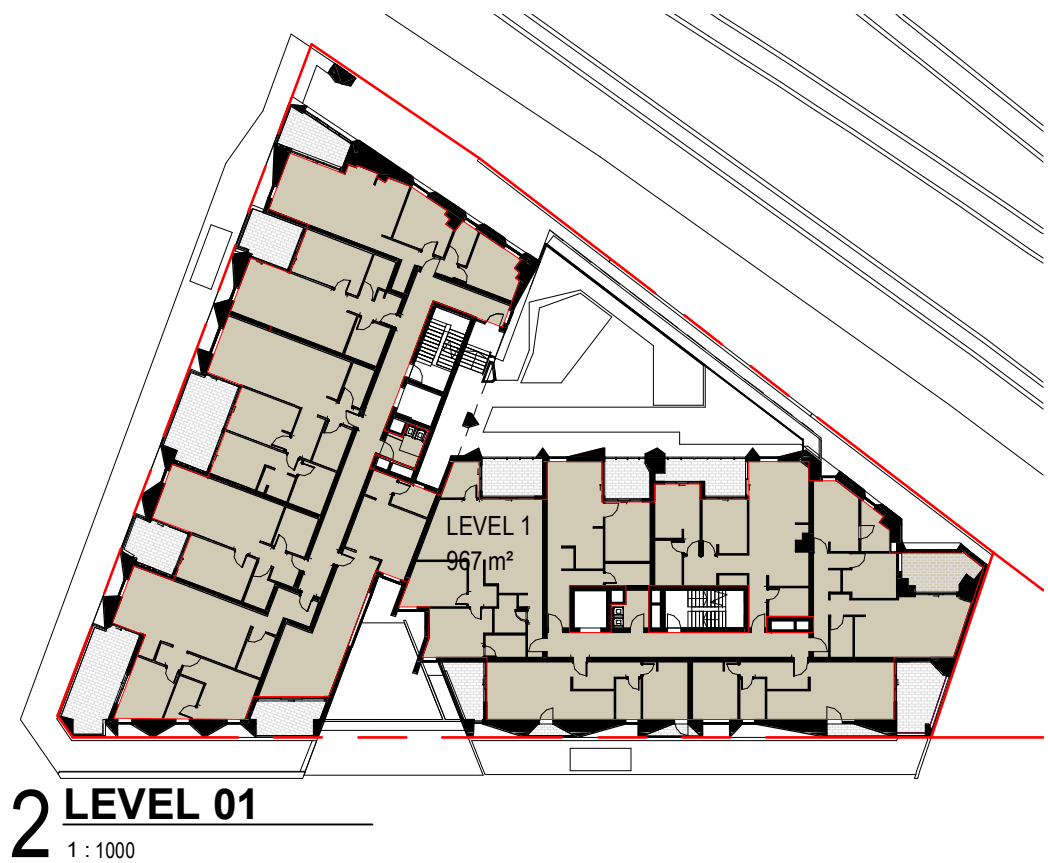
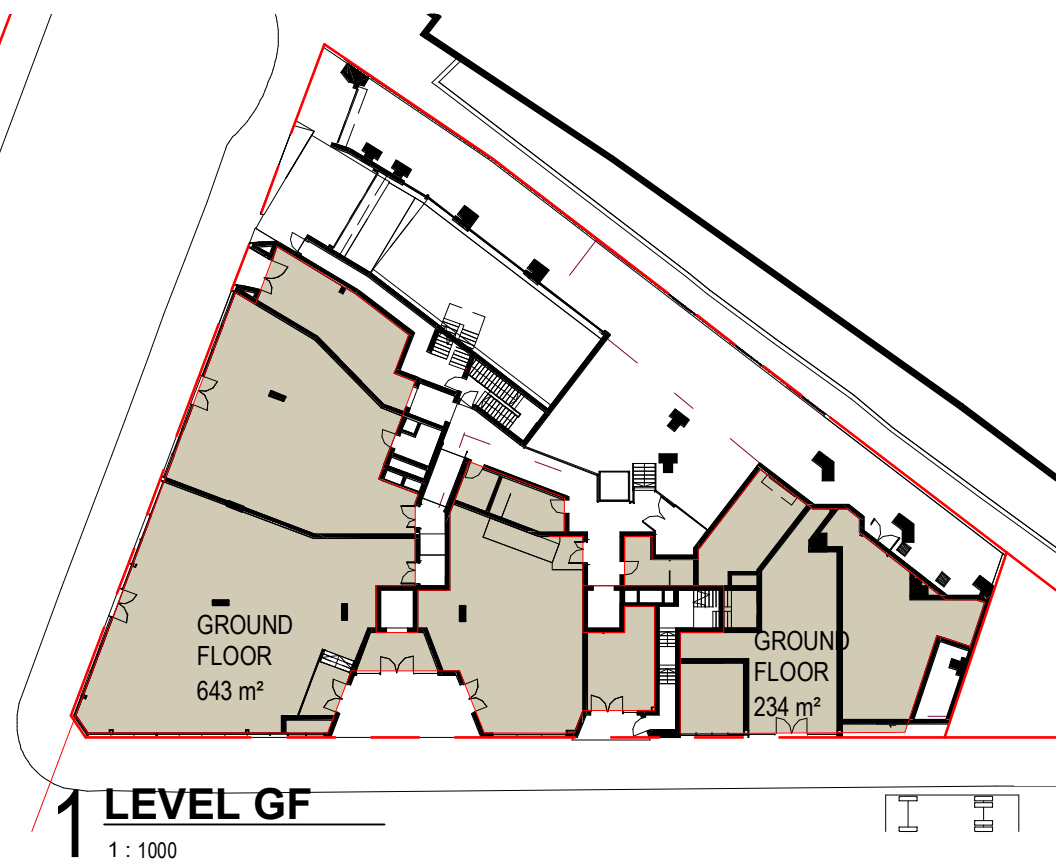
CLIENT
MR & MRS COSTAS

DRAWING
DEVELOPMENT SUMMARY

DATE	SCALE @ A3	DRAWN
06/03/16	1 : 1000	JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-600	4
PROJECT	NARWEE MIXED USE DEVELOPMENT	

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Goe (6790), Daniel Hudson (8315)

JACKSON TEECE



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	ISSUE FOR SECTION 8.2	CA	11/05/21

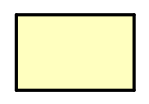

SEPP 65 - SUN CALCULATION SUMMARY

HOURS OF SOLAR ACCESS	COMPLIANT APARTMENTS	%
NO SUN MID WINTER	7	11%
2HRS MID WINTER	56	89%
TOTAL	63	

SEPP 65 - CROSS VENTILATION CALCULATION

CROSS VENT	COMPLIANT APARTMENTS	%
N	24	38%
Y	39	62%
TOTAL	63	

KEY : DIRECT SOLAR LEGEND

	APARTMENTS RECEIVE DIRECT SUN BETWEEN 9AM & 3PM (MINIMUM OF 2 HOURS)
	APARTMENTS DO NOT RECEIVE DIRECT SUN BETWEEN 9AM & 3PM

KEY : CROSS VENTILATION LEGEND

	CROSS VENTILATED
---	------------------

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SECTION 8.2 ISSUE

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CA	JL
CLIENT	
MR & MRS COSTAS	

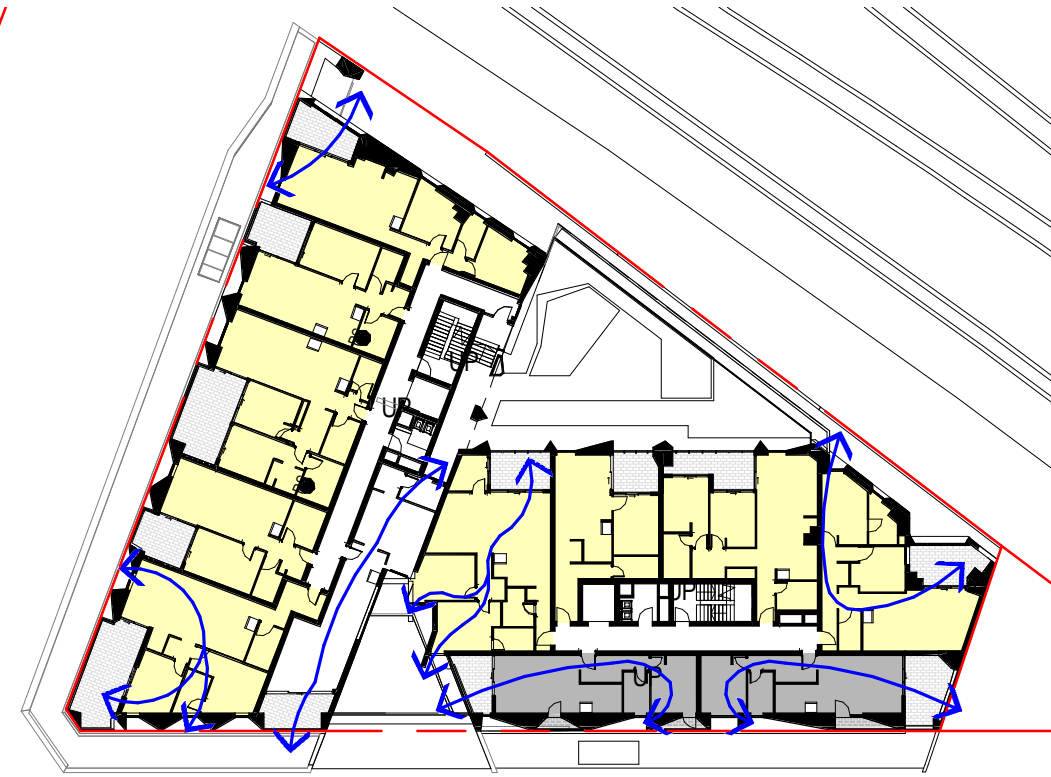
DRAWING
SOLAR & CROSS VENTILATION
DIAGRAMS

DATE	SCALE @ A3	DRAWN	
06/03/16	1 : 1000	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-700		3

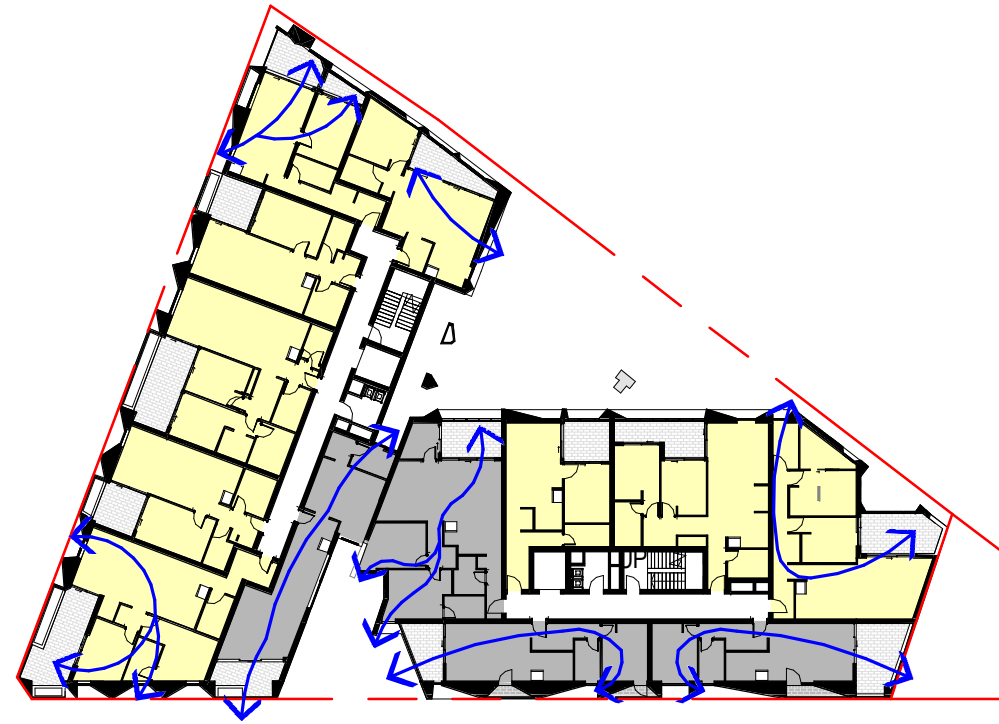
PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 290
Nominated Architects: Damian Barker (8192), John Goe (6790), Daniel Hudson (8315)

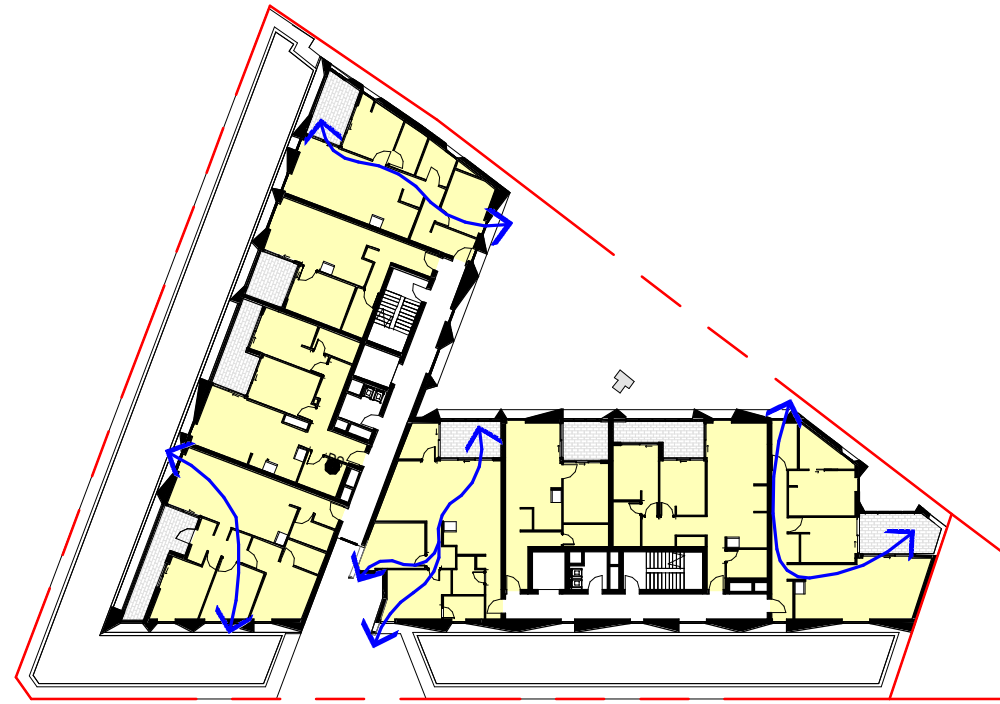
JACKSON TEECE



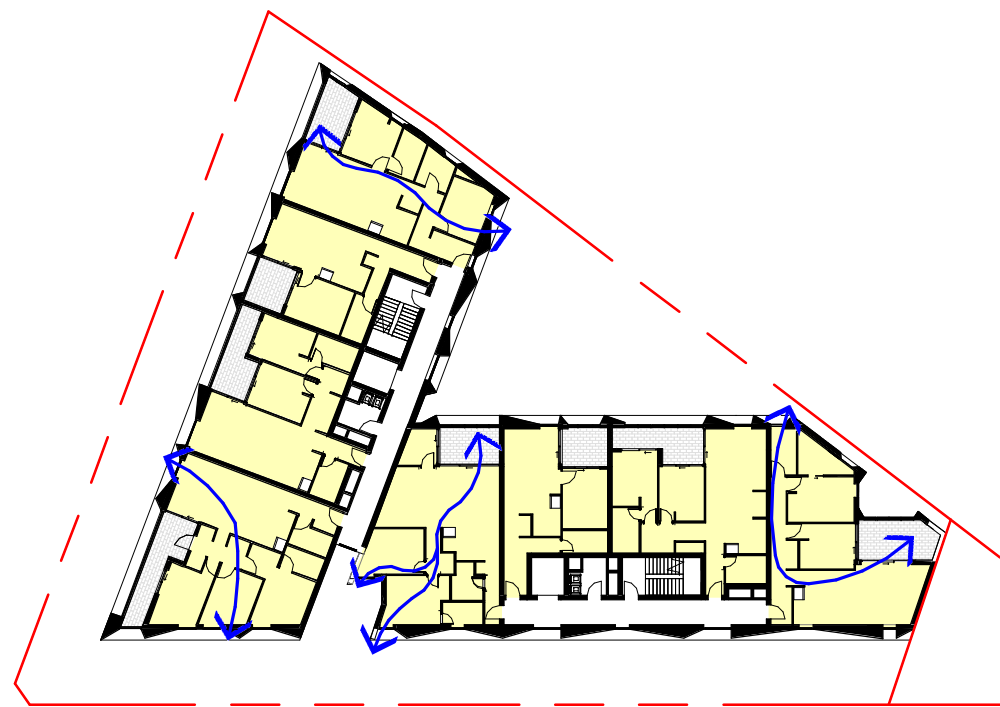
1 LEVEL 01 SOLAR ACCESS
1 : 1000



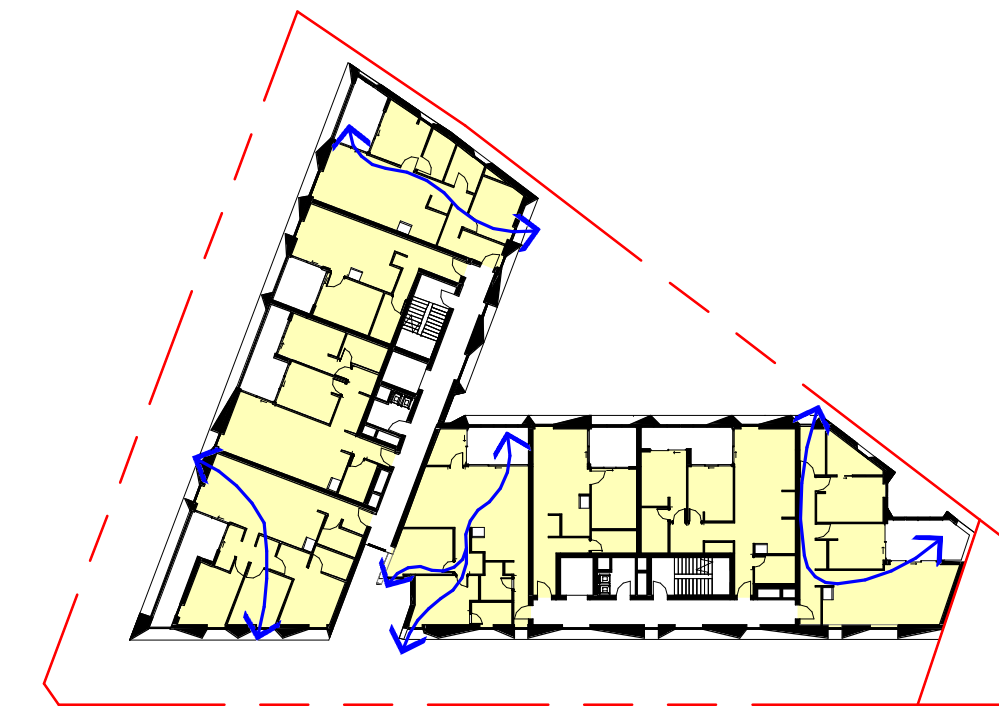
2 LEVEL 02 SOLAR ACCESS
1 : 1000



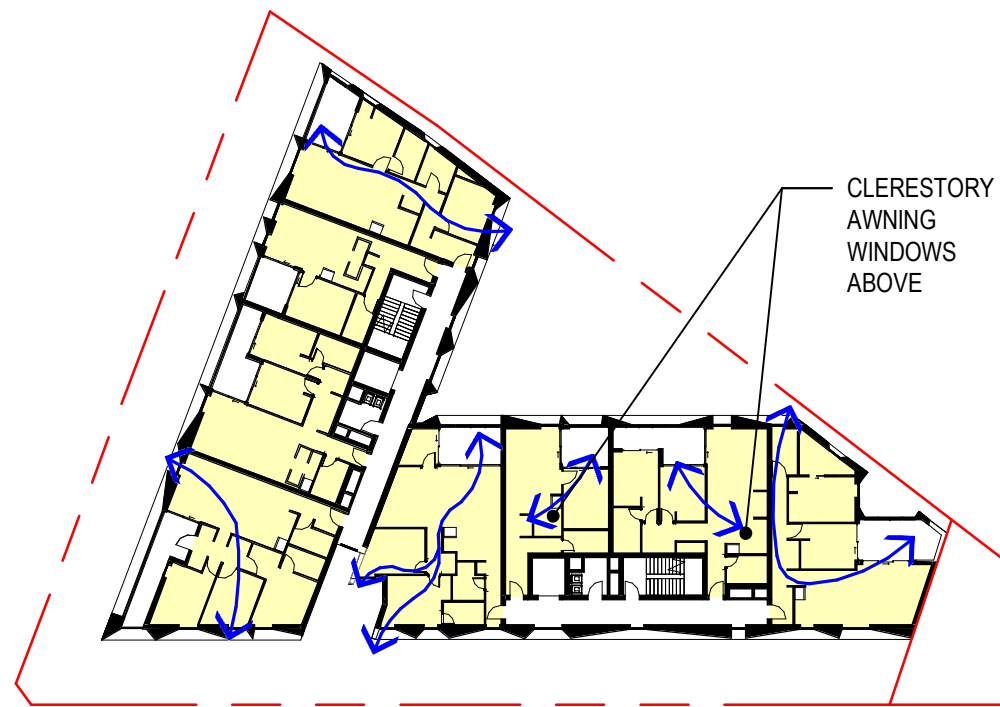
3 LEVEL 03 SOLAR ACCESS
1 : 1000



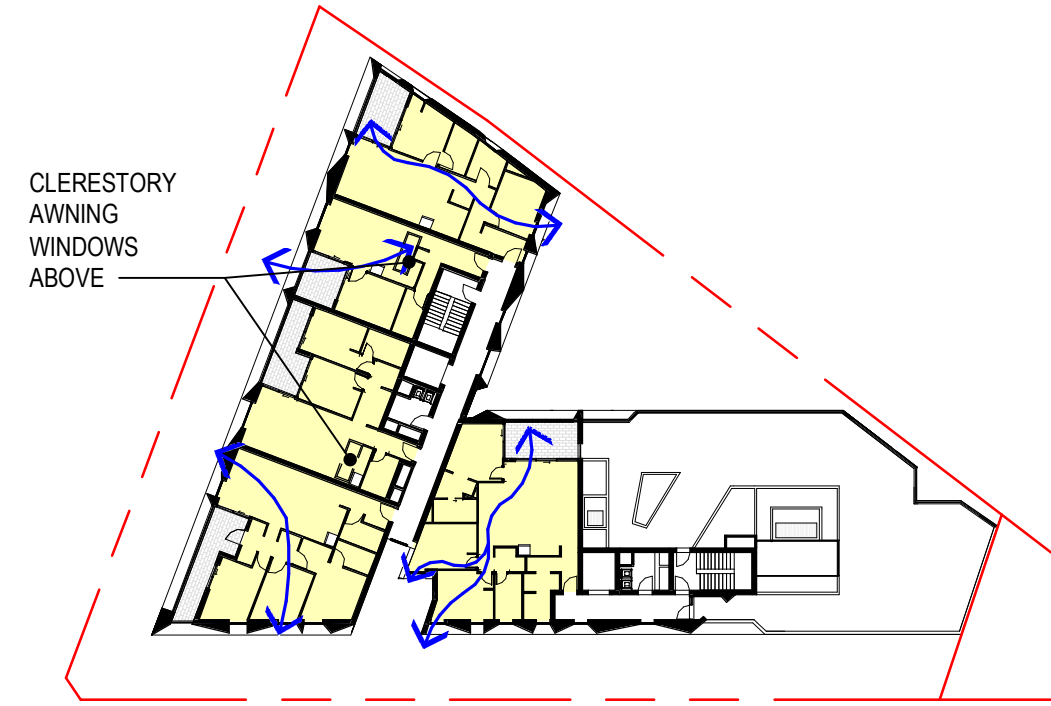
4 LEVEL 04 SOLAR ACCESS
1 : 1000



5 LEVEL 05 SOLAR ACCESS
1 : 1000



6 LEVEL 06 SOLAR ACCESS
1 : 1000



7 LEVEL 07 SOLAR ACCESS
1 : 1000

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



1 EXISTING - 21ST JUNE 0900h

1:1600



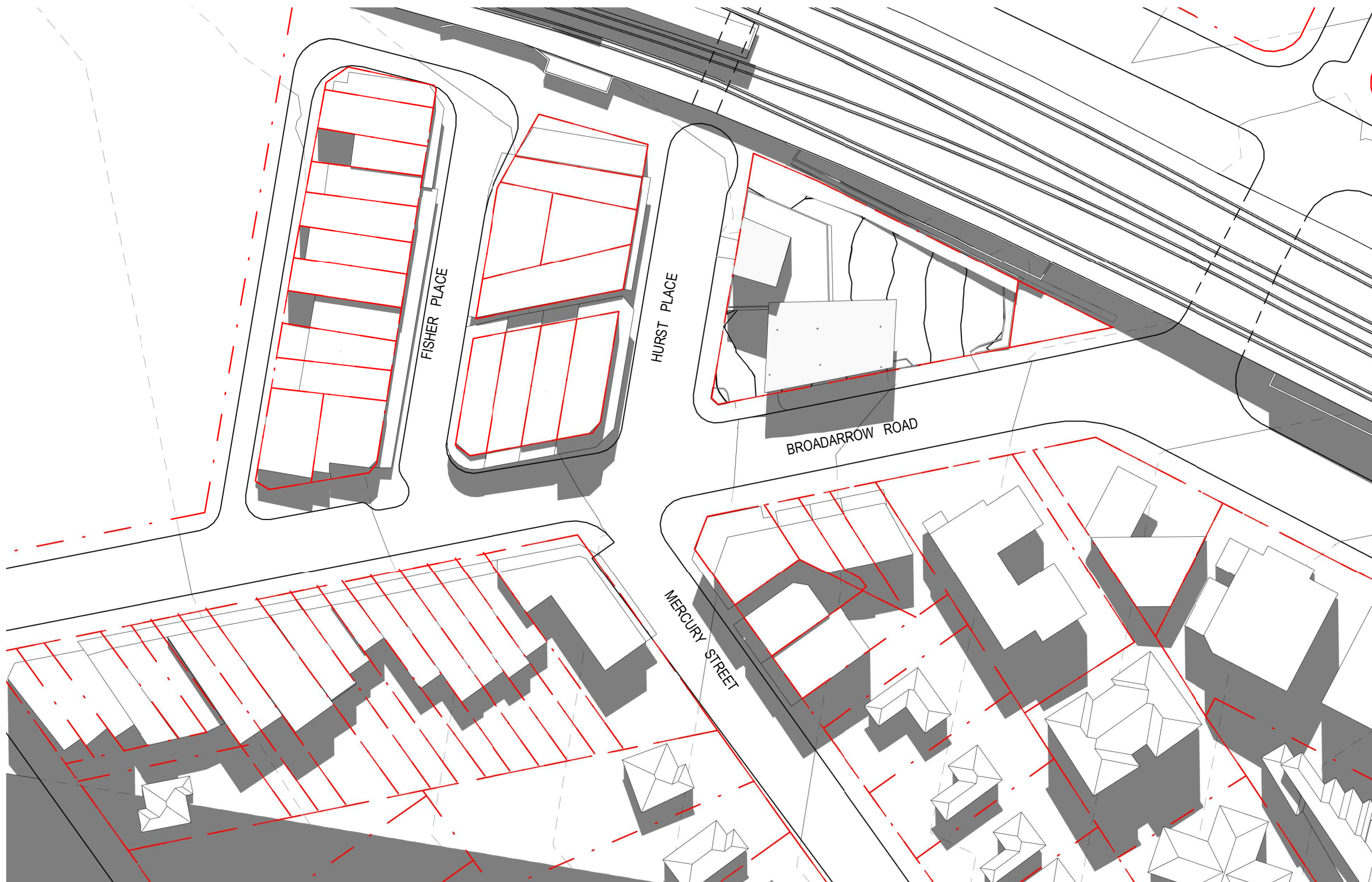
2 EXISTING - 21ST JUNE 1000h

1:1600



3 EXISTING - 21ST JUNE 1100h

1:1600



4 EXISTING - 21ST JUNE 1200h

1:1600

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SECTION 8.2 ISSUE

APPROVED BY:
CA

CHECKED BY:
JL

CLIENT
MR & MRS COSTAS

DRAWING
SHADOW DIAGRAMS -
EXISTING

DATE
09/06/18

SCALE @ A3
1 : 1600

DRAWN
JL/PL

PROJECT No.

DISCP.

DRAWING No.

ISSUE

2017151 A DA-800

4

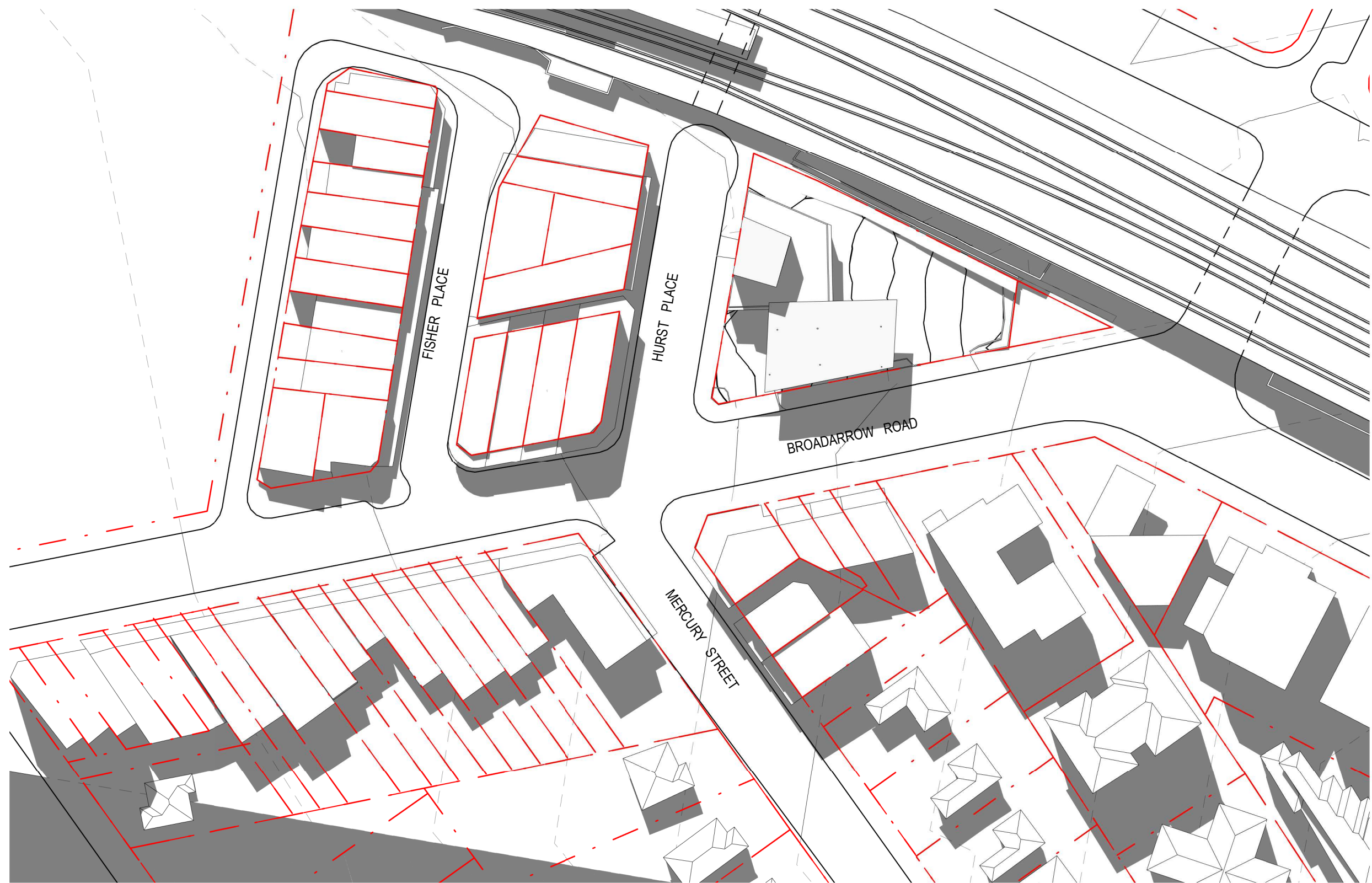
PROJECT
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
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E sydney@jacksonteece.com
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Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

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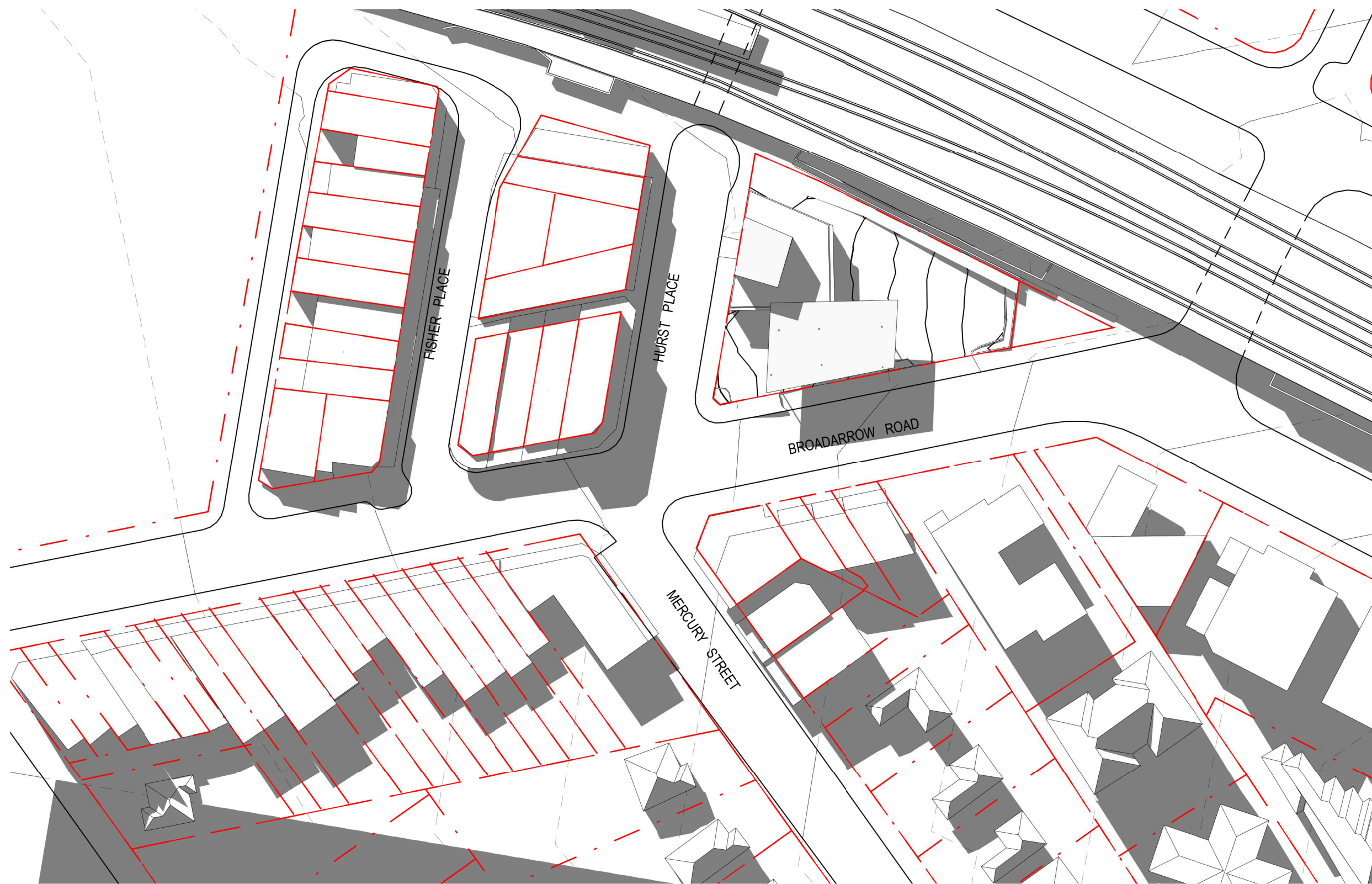
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ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/19
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20
4	ISSUE FOR SECTION 8.2	CA	11/05/21



1 EXISTING - 21ST JUNE 1300h

1 : 1600



2 EXISTING - 21ST JUNE 1400h

1 : 1600



3 EXISTING - 21ST JUNE 1500h

1 : 1600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

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MR & MRS COSTAS

DRAWING
SHADOW DIAGRAMS -
EXISTING

DATE 08/07/19 SCALE @ A3 1 : 1600 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-801 DRAWING No. ISSUE 4

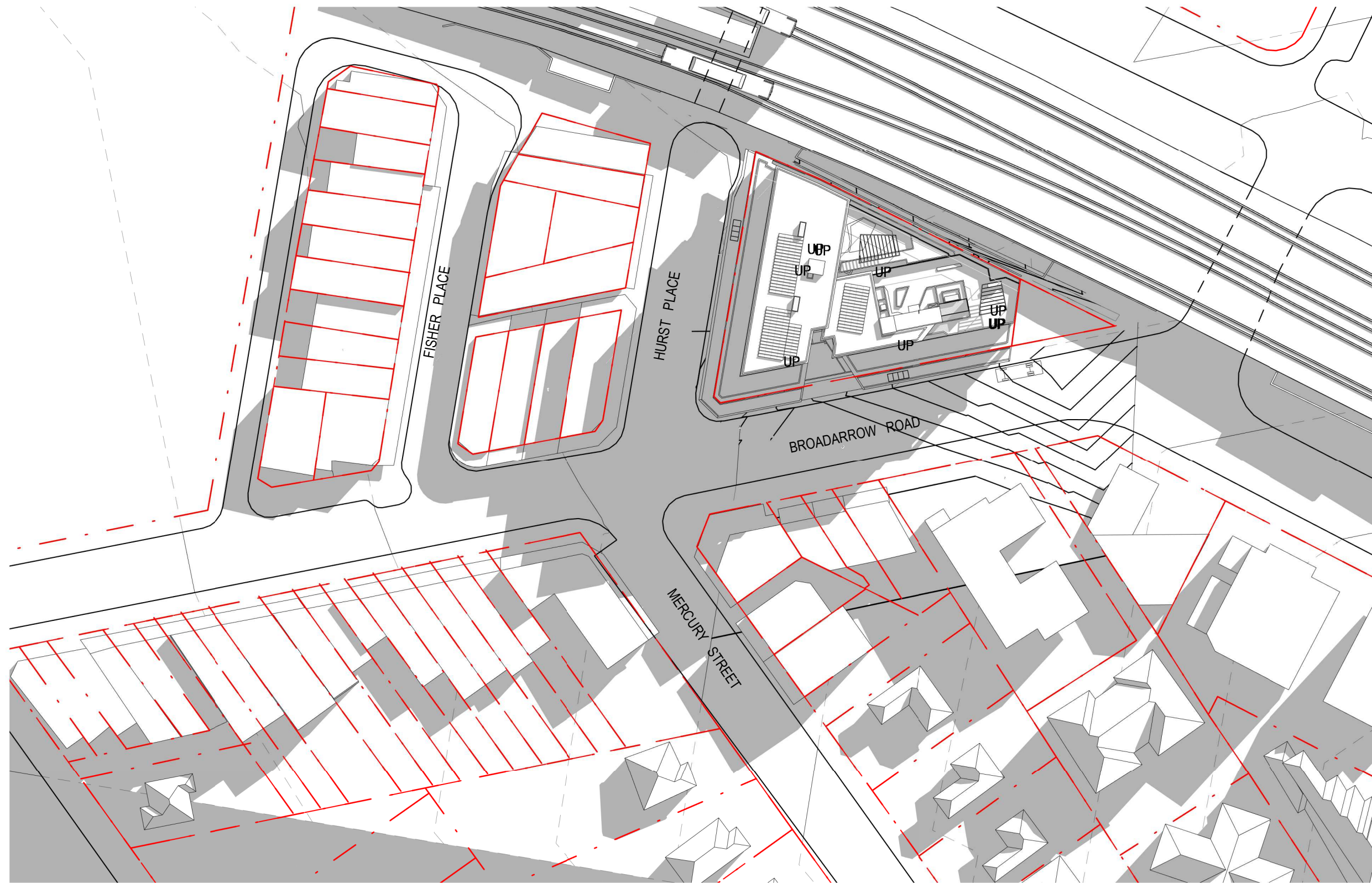
PROJECT
NARWEE MIXED USE DEVELOPMENT

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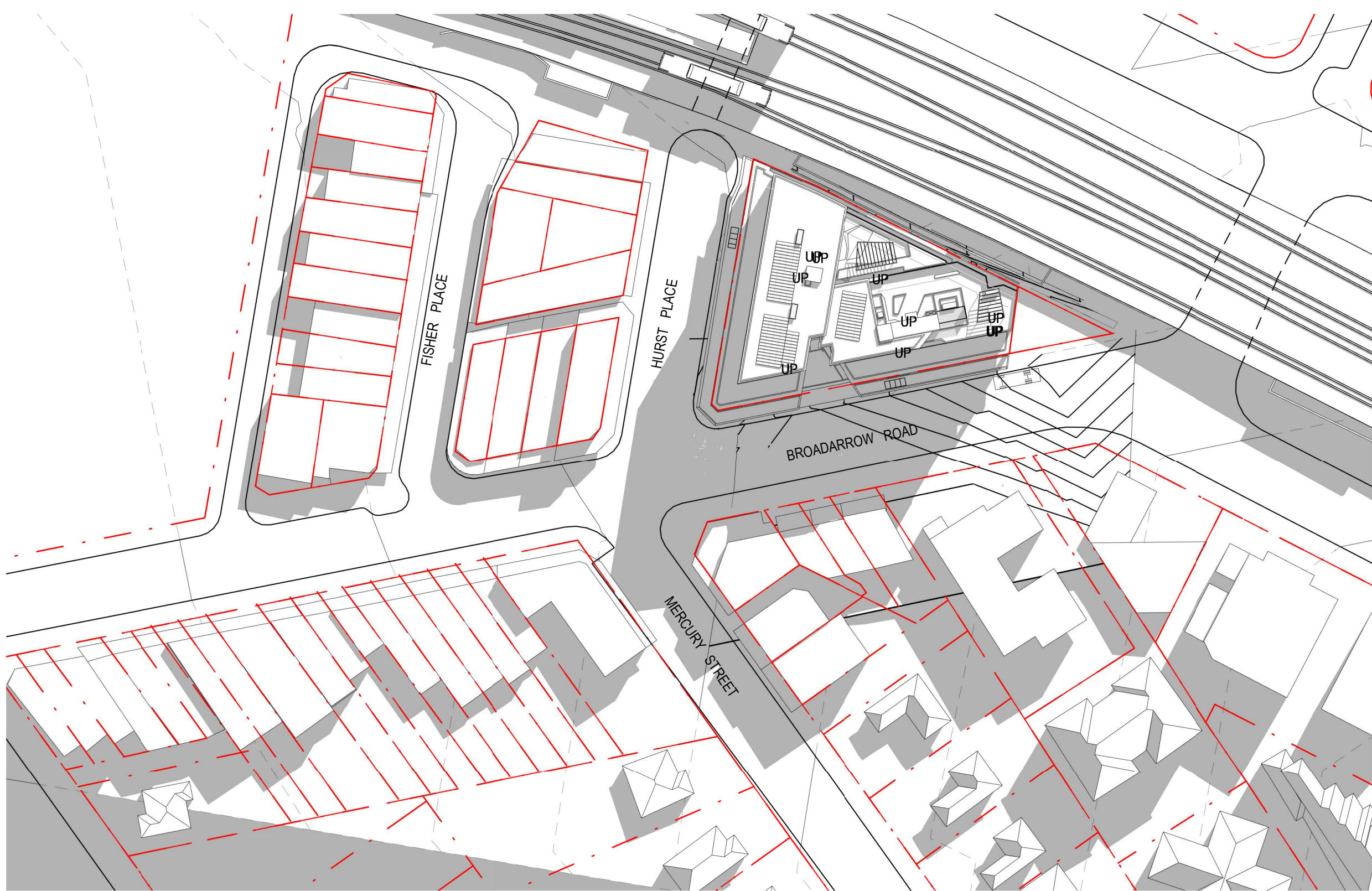
AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20
3	ISSUE FOR SECTION 8.2	CA	11/05/21



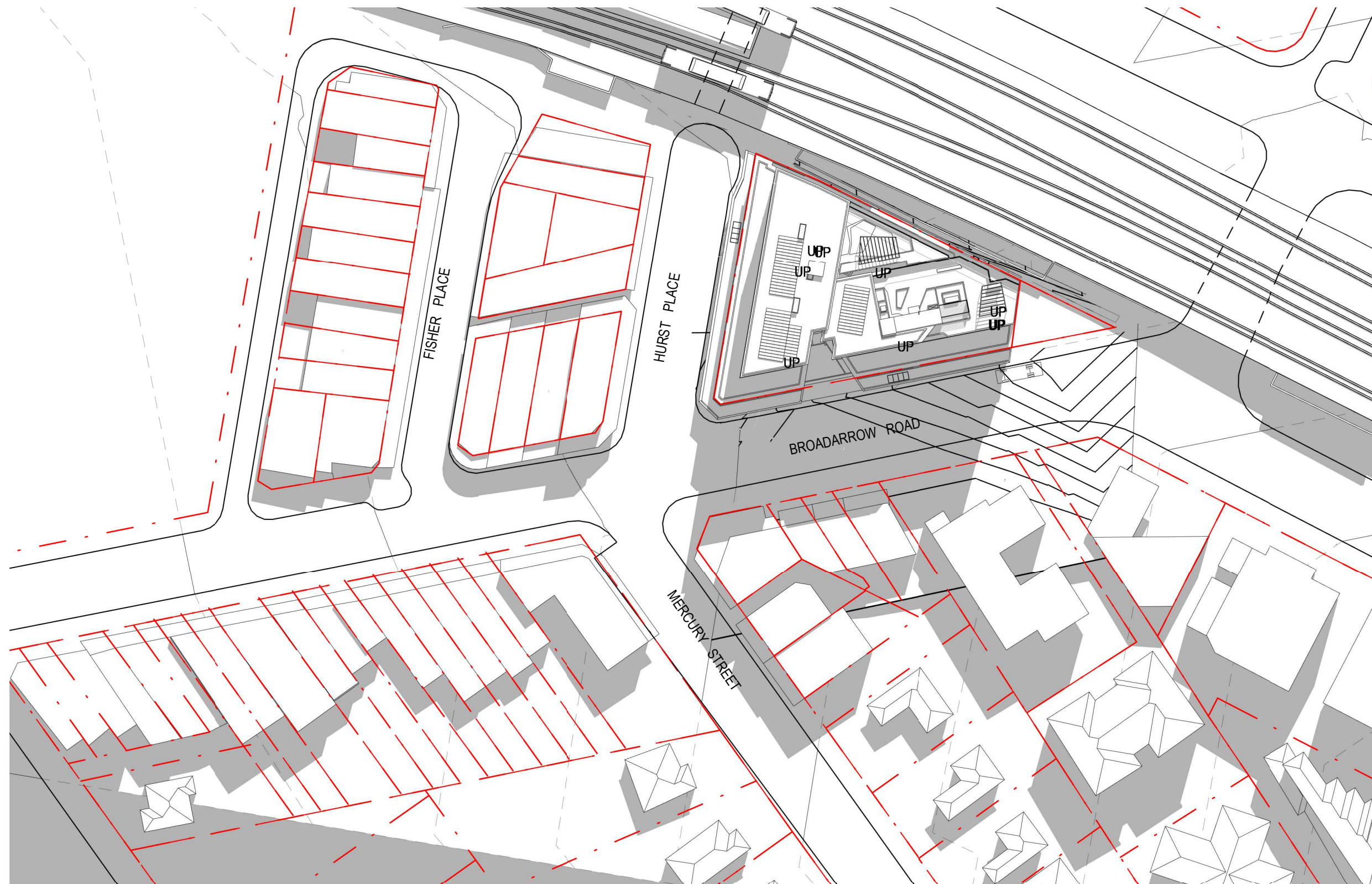
2 21ST JUNE 0900h

1:1600



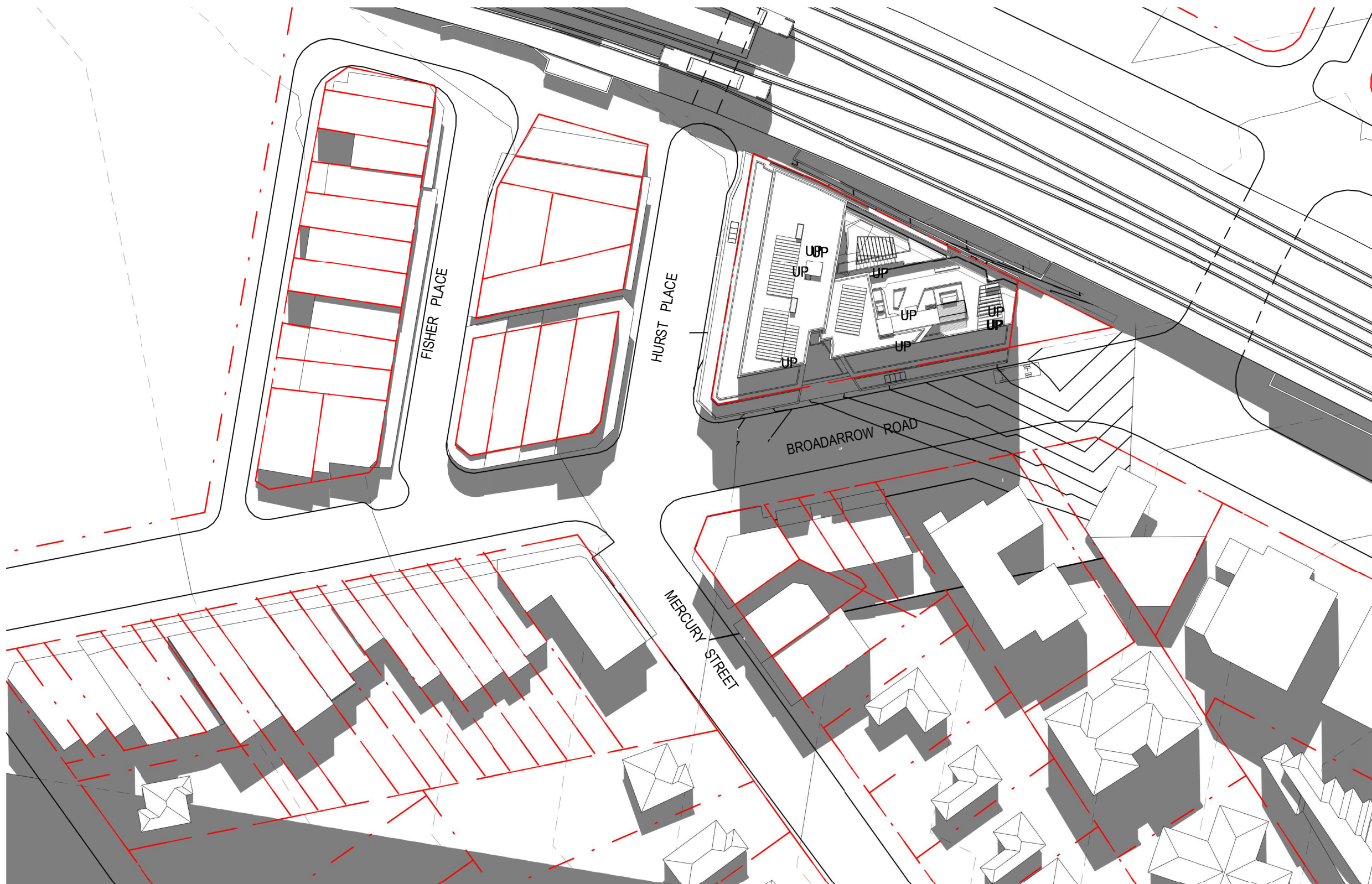
3 21ST JUNE 1000h

1:1600



4 21ST JUNE 1100h

1:1600



5 21ST JUNE 1200h

1:1600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING SHADOW DIAGRAMS - PROPOSED

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 1600	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-802		3

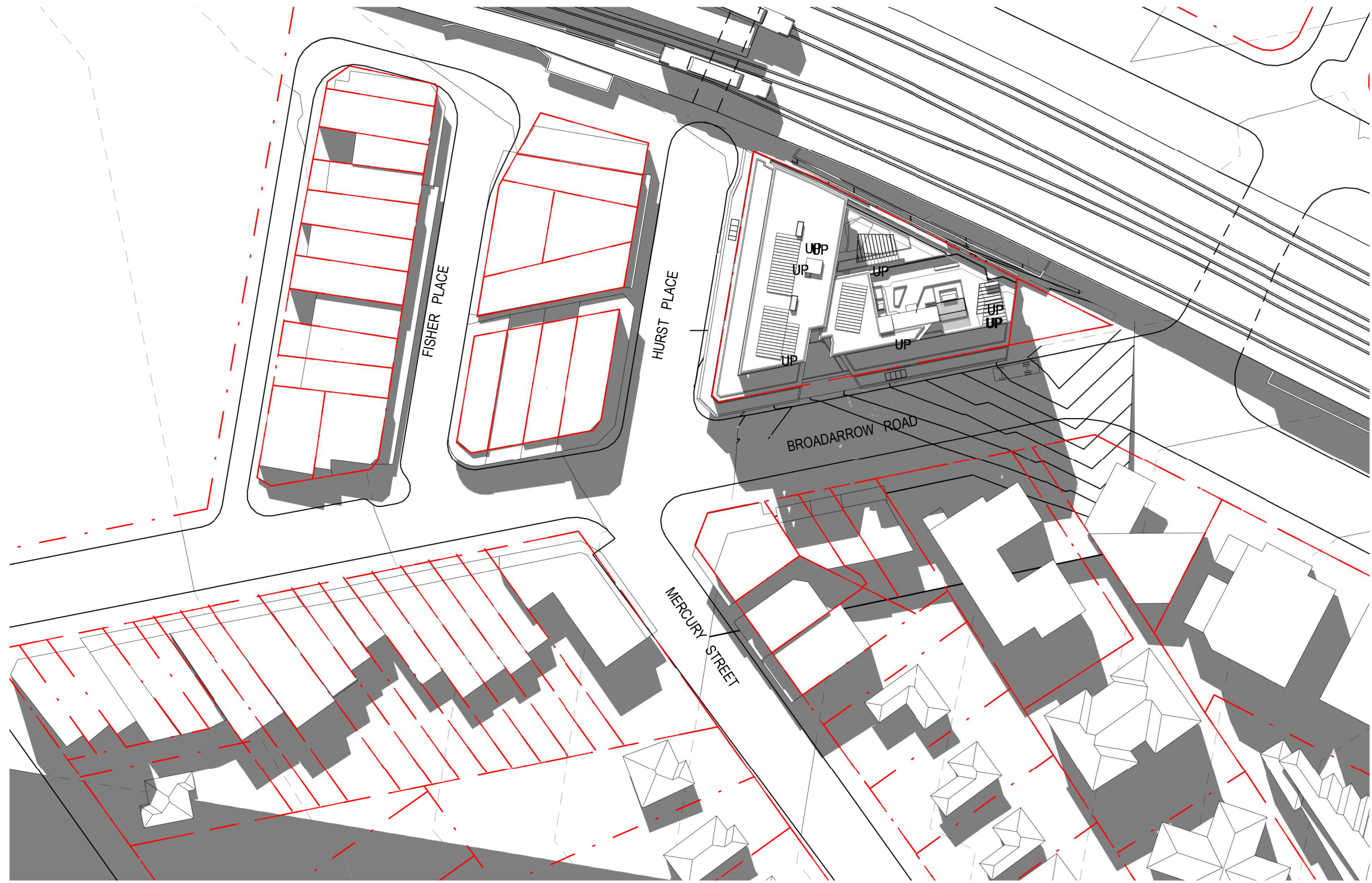
PROJECT NARWEЕ MIXED USE DEVELOPMENT

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Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
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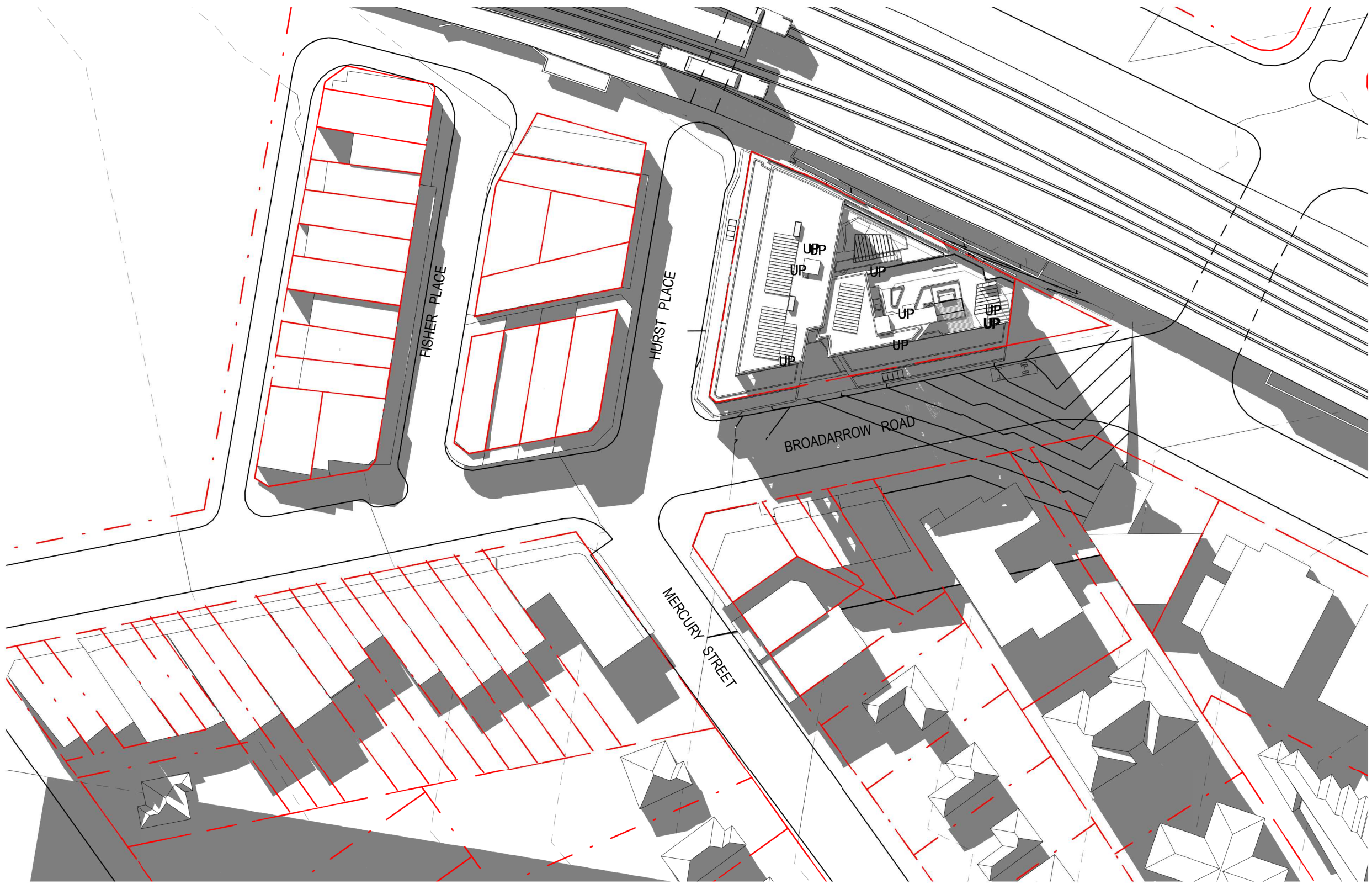
JACKSON TEECE

AMENDMENTS

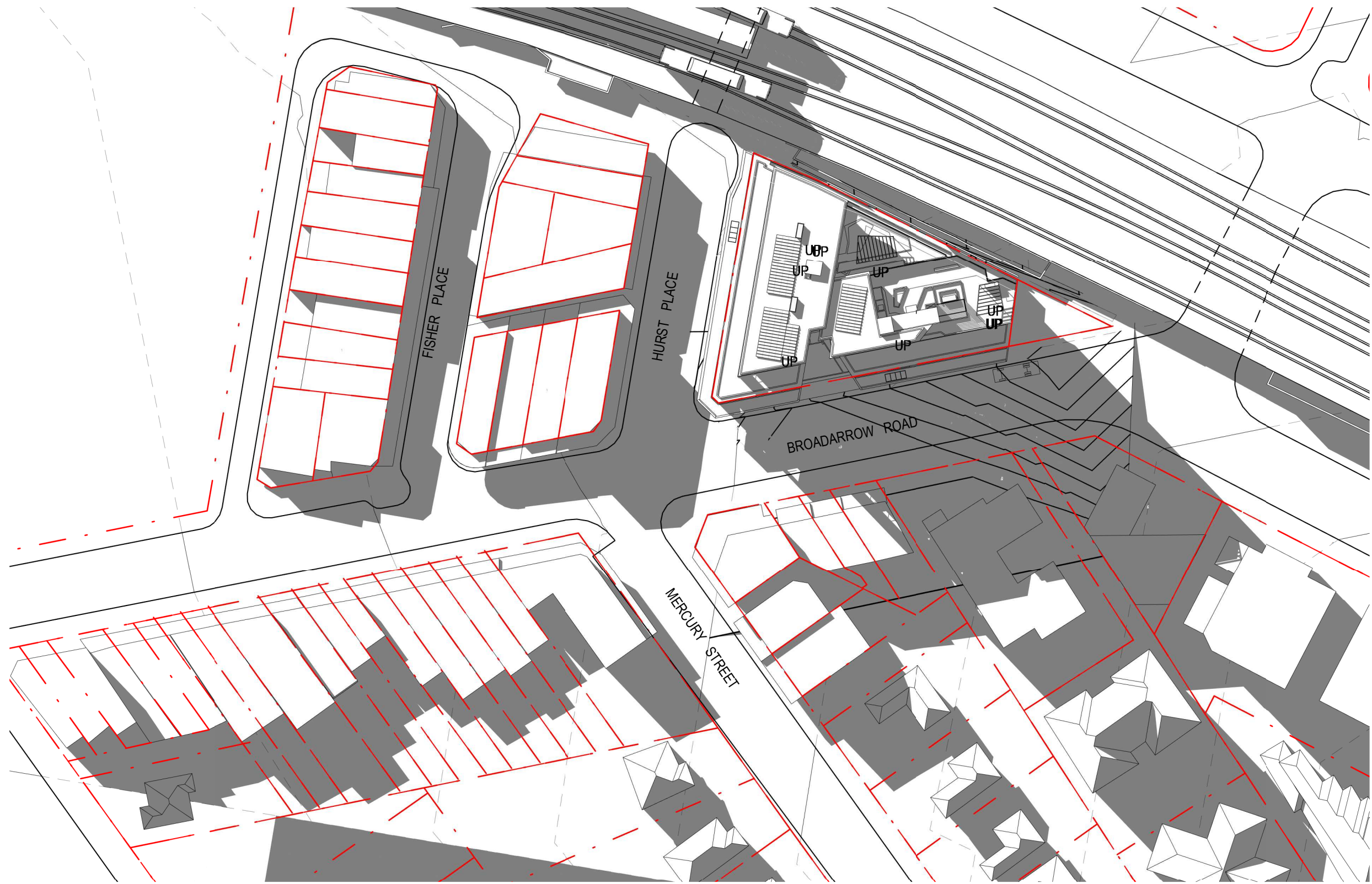
ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20
3	ISSUE FOR SECTION 8.2	CA	11/05/21



1 21ST JUNE 1300h
1:1600



2 21ST JUNE 1400h
1:1600



3 21ST JUNE 1500h
1:1600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: Approver
CHECKED BY: Checker

CLIENT
MR & MRS COSTAS

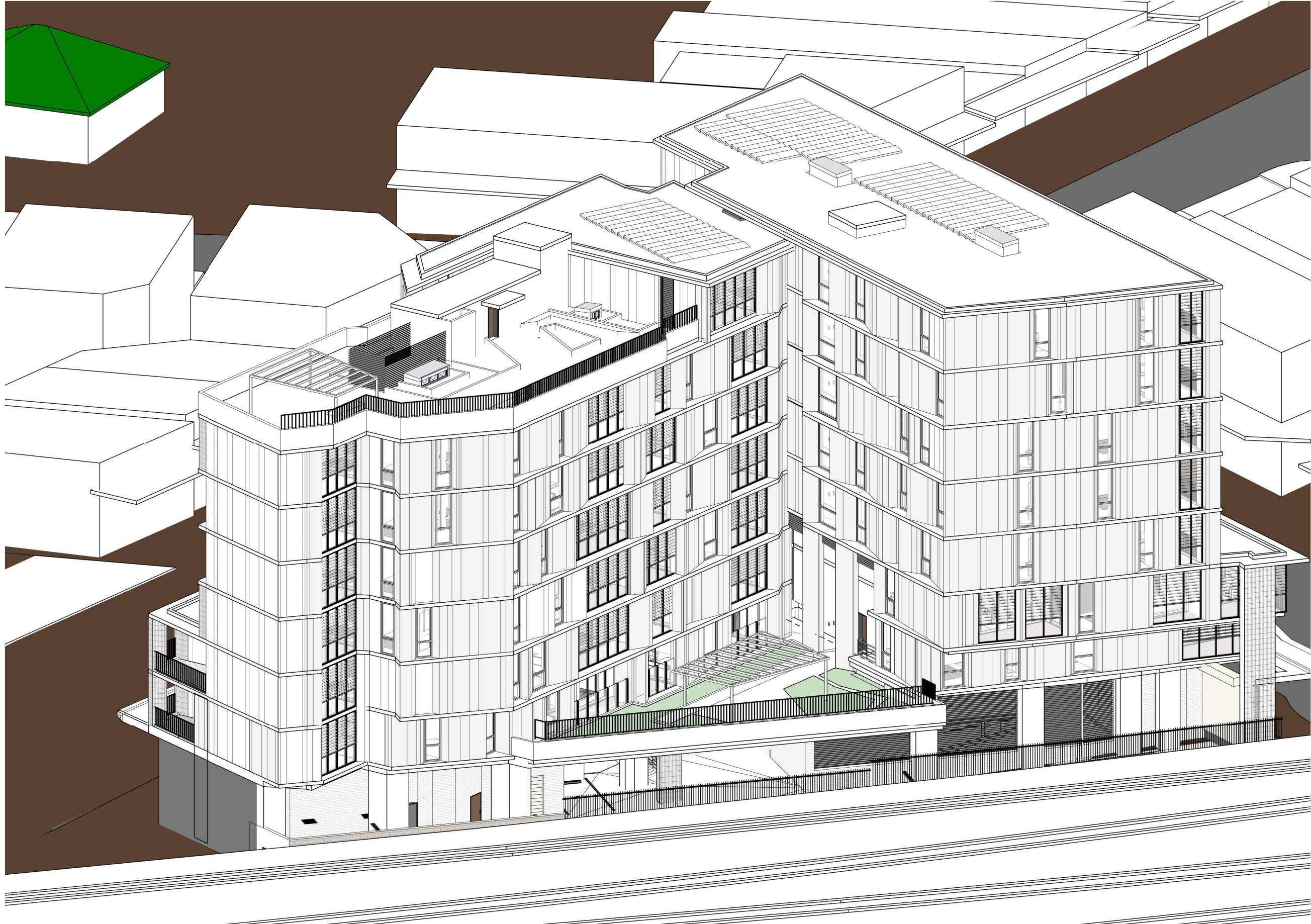
DRAWING
SHADOW DIAGRAMS -
PROPOSED

DATE	SCALE @ A3	DRAWN
08/07/19	1 : 1600	Author
PROJECT No.	DISCP.	DRAWING No.
2017151 A	DA-803	3

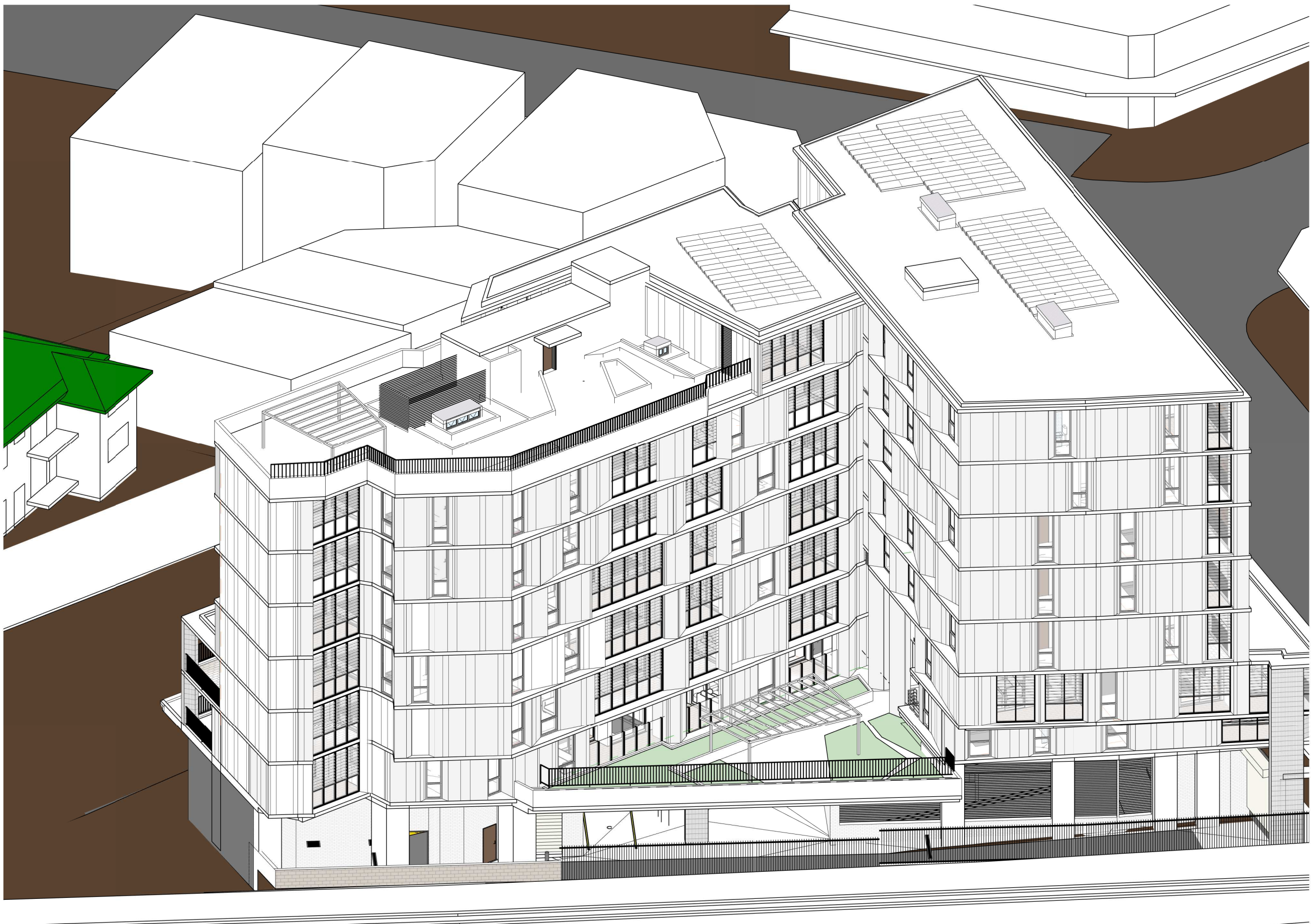
PROJECT
NARWEE MIXED USE DEVELOPMENT

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E sydney@jacksonteece.com
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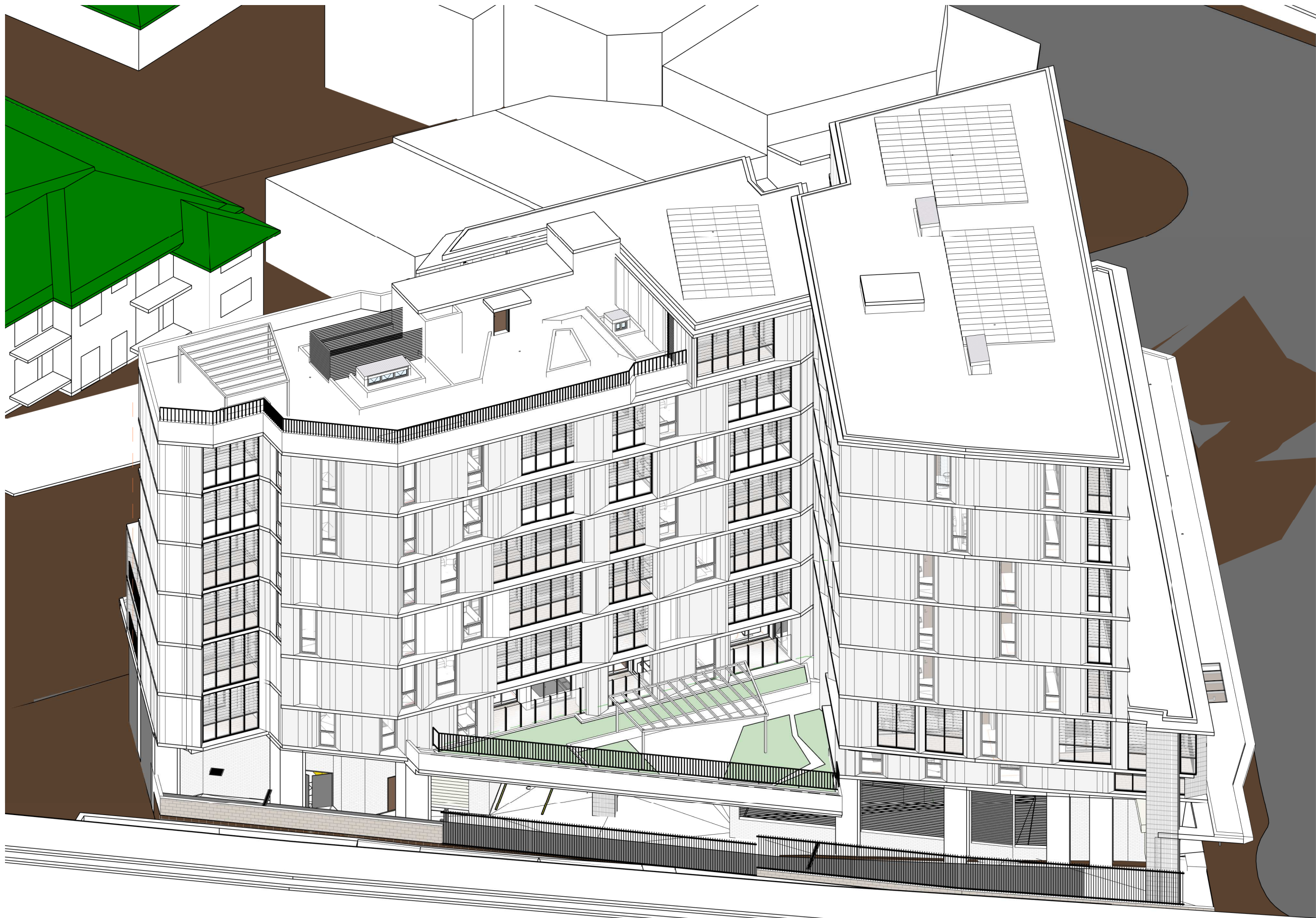
JACKSON TEECE



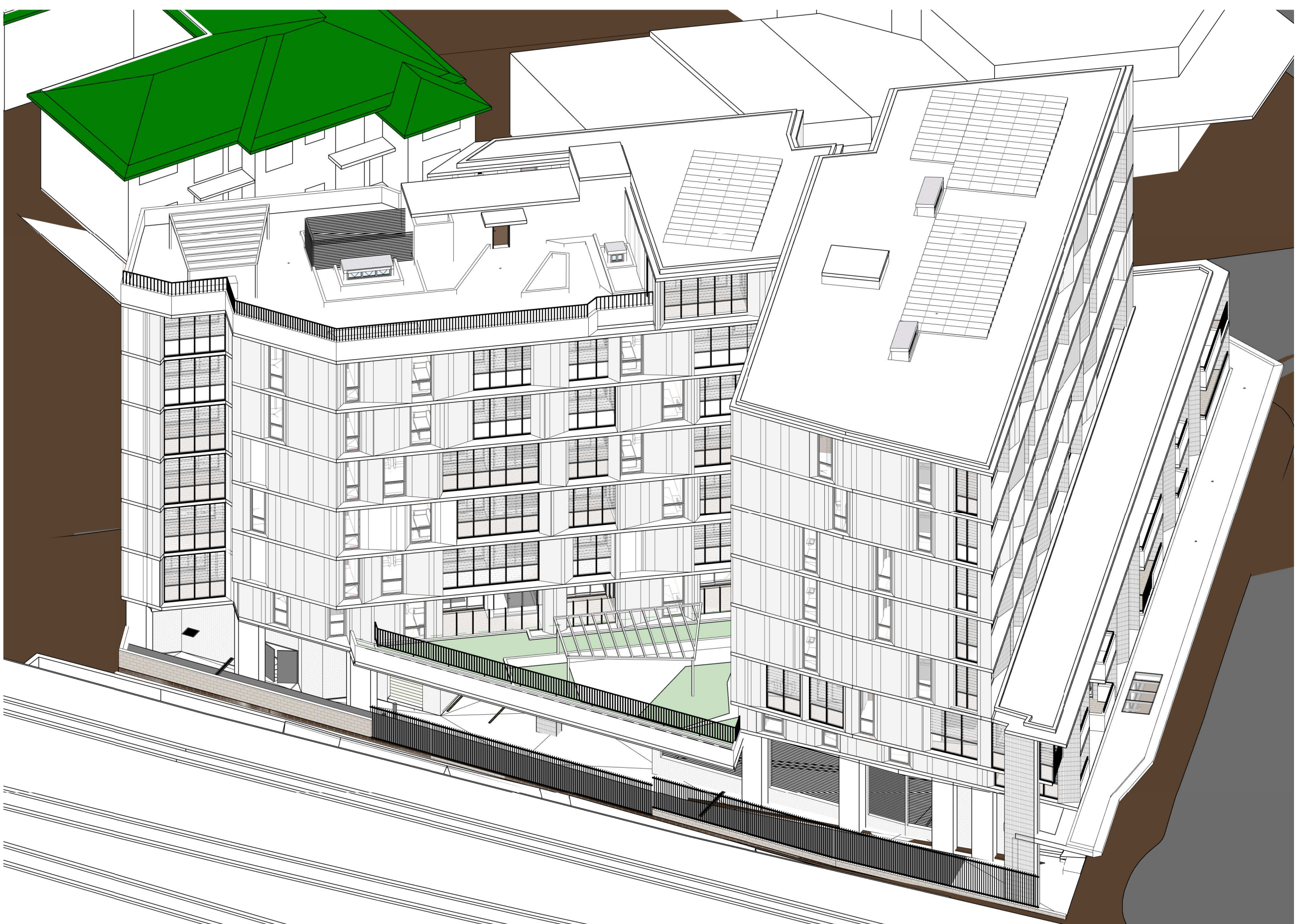
1 SUN VIEW 21ST JUNE 0900h



2 SUN VIEW 21ST JUNE 1000h



3 SUN VIEW 21ST JUNE 1100h



4 SUN VIEW 21ST JUNE 1200h

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20
3	ISSUE FOR SECTION 8.2	CA	11/05/21

DESIGN & CONSTRUCTION
These documents form part of the documentation package prepared for Design and Construct (D & C) tendering. They show the design intent and therefore are not to be considered as fully resolved construction documentation.
The documents show the extent of the client's needs and intent. Not all items of work have been drawn, detailed and specified. Materials and finishes are shown in order to show their quality anticipated by the client.
The D + C Contractor shall assume sole responsibility for undertaking all documentation needed for issue of the Construction Certificate, and subsequent construction and final approvals for occupation.
The specification and schedules shall be read in conjunction with the drawings, all of which are intended to be mutually explanatory. All work called for by the one, even if not by the other, shall be fully executed.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: APPROVER
CHECKED BY: CHECKER

CLIENT
MR & MRS COSTAS

DRAWING
SOLAR STUDIES (VIEW FROM
THE SUN)

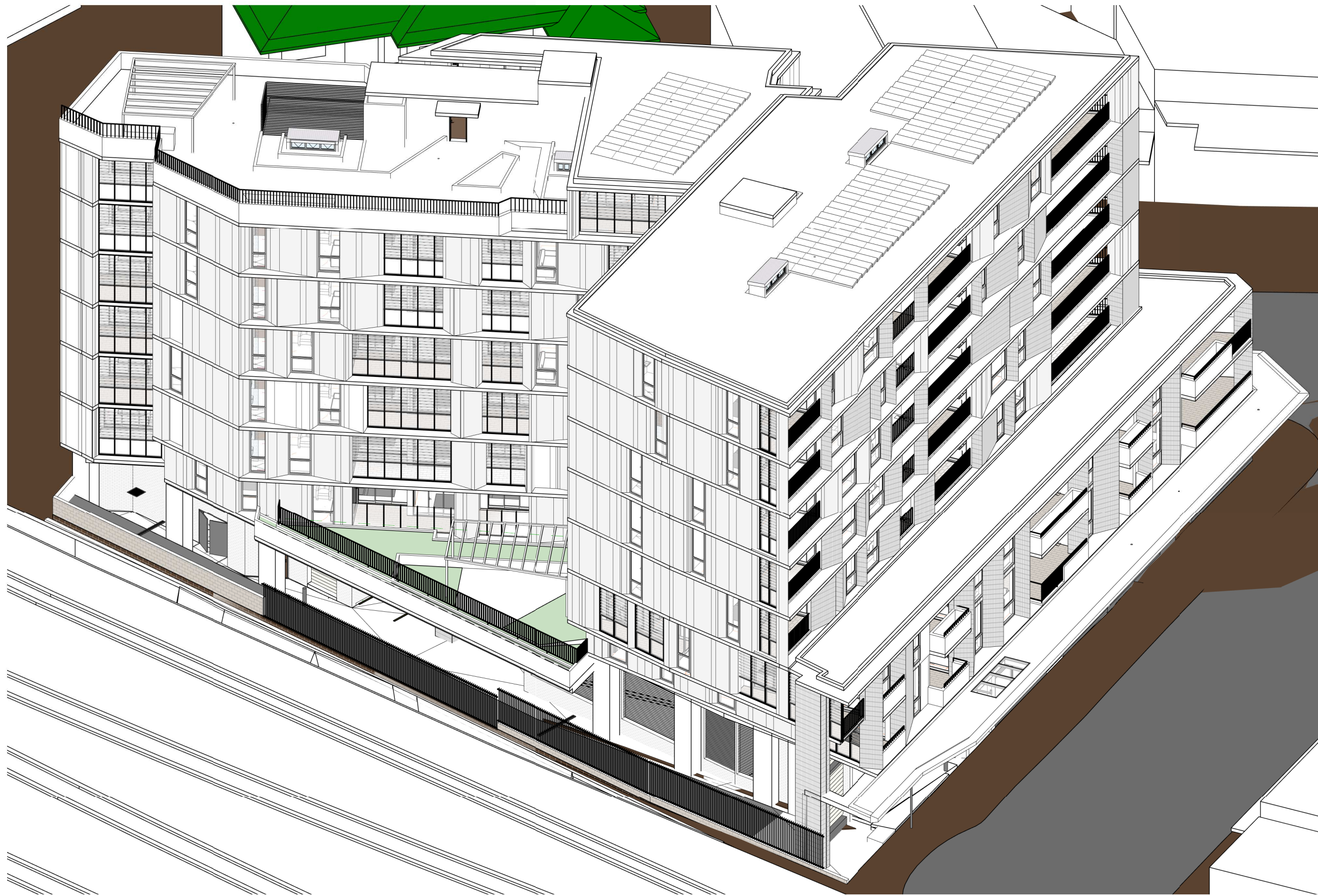
DATE 08/07/19 SCALE @ A1 DRAWN Author

PROJECT No. DISCP. DRAWING No. ISSUE
2017151 A DA-804 3

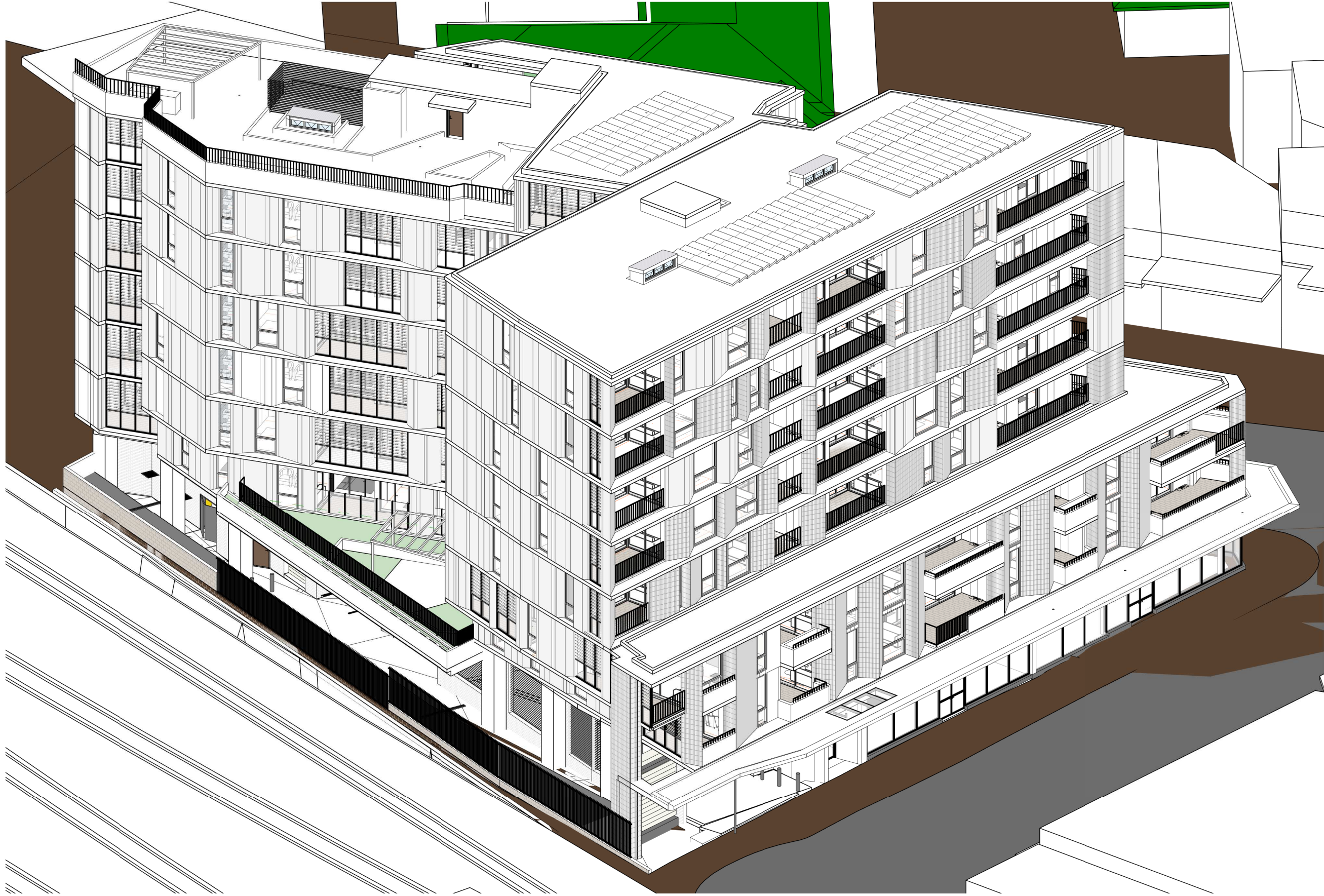
PROJECT
NARWEE MIXED USE DEVELOPMENT

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Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

JACKSON TEECE



1 SUN VIEW 21ST JUNE 1300h



2 SUN VIEW 21ST JUNE 1400h



3 SUN VIEW 21ST JUNE 1500h

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20
3	ISSUE FOR SECTION 8.2	CA	11/05/21

SEPP 65 - SOLAR ACCESS HOURS

APARTMENT	LIVING SPACE						TOTAL HRS COMPLIANT	PRIVATE OPEN SPACE						TOTAL HRS COMPLIANT
	09 AM	10 AM	11 AM	12 PM	01 PM	02 PM		09 AM	10 AM	11 AM	12 PM	01 PM	02 PM	
L01-01							2 Y							2 Y
L01-02							2 Y							2 Y
L01-03							2 Y							2 Y
L01-04							2 Y							2 Y
L01-05							2 Y							2 Y
L01-06							2 Y							2 Y
L01-08							2 Y							2 Y
L01-09							2 Y							2 Y
L01-10							2 Y							2 Y
L01-11							2 Y							2 Y
L01-12							2 Y							2 Y
L01-13							2 Y							2 Y
L02-01							2 Y							2 Y
L02-02							2 Y							2 Y
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L02-04							2 Y							2 Y
L02-05							2 Y							2 Y
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L07-04							2 Y							2 Y
L07-05							2 Y							2 Y
TOTAL							56							56

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
CHECKED BY: JL
CLIENT: MR & MRS COSTAS

DRAWING: SOLAR STUDIES (VIEW FROM THE SUN)

DATE: 08/07/19
SCALE: @ A1
DRAWN: JL/PL

PROJECT No. 2017151 A
DISCP. DA-805
DRAWING No. 3
ISSUE

PROJECT: NARWEE MIXED USE DEVELOPMENT

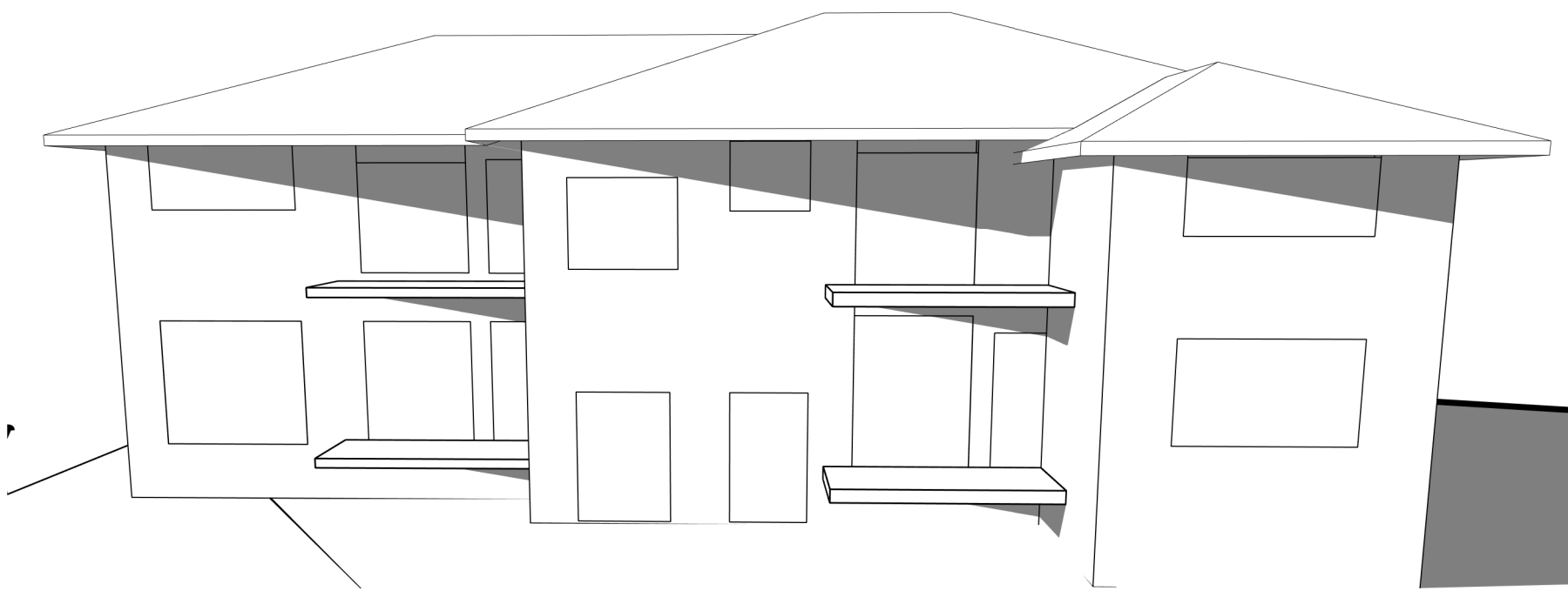
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E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 590
Nominated Architects: Damian Barker (8192), John Gove (6790), Daniel Hudson (8315)

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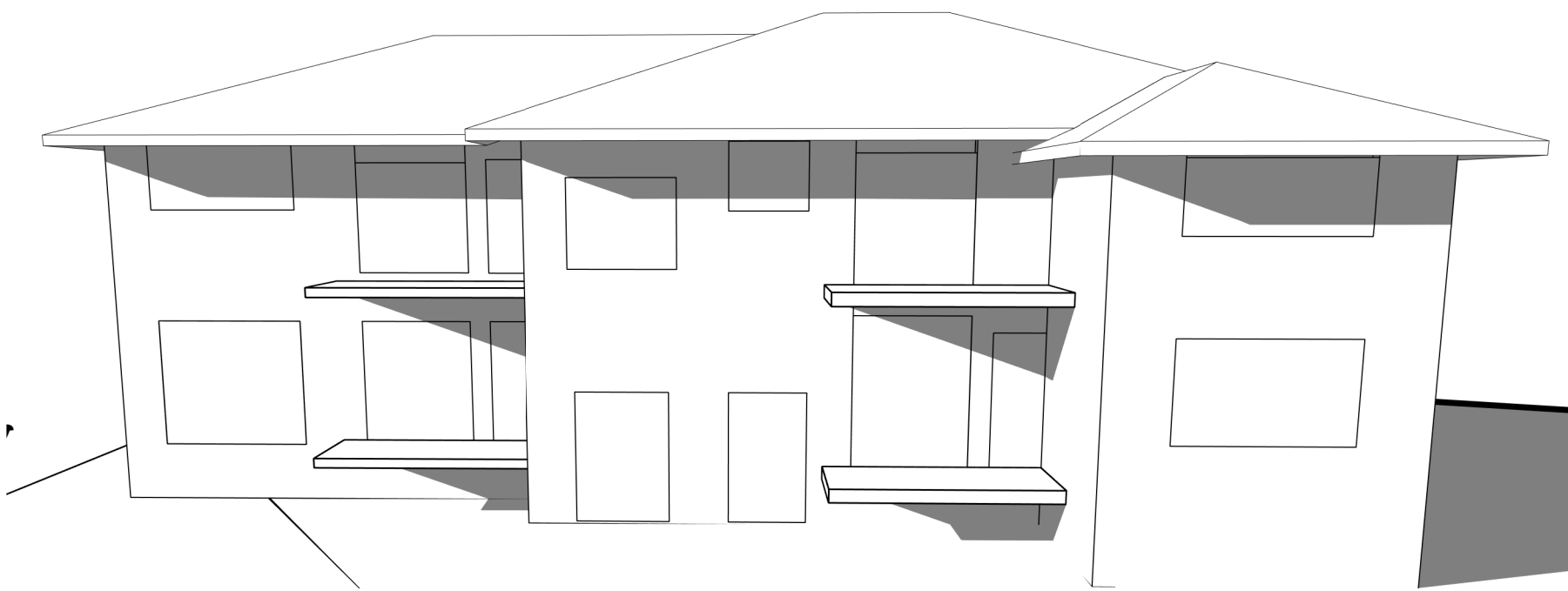
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AMENDMENTS

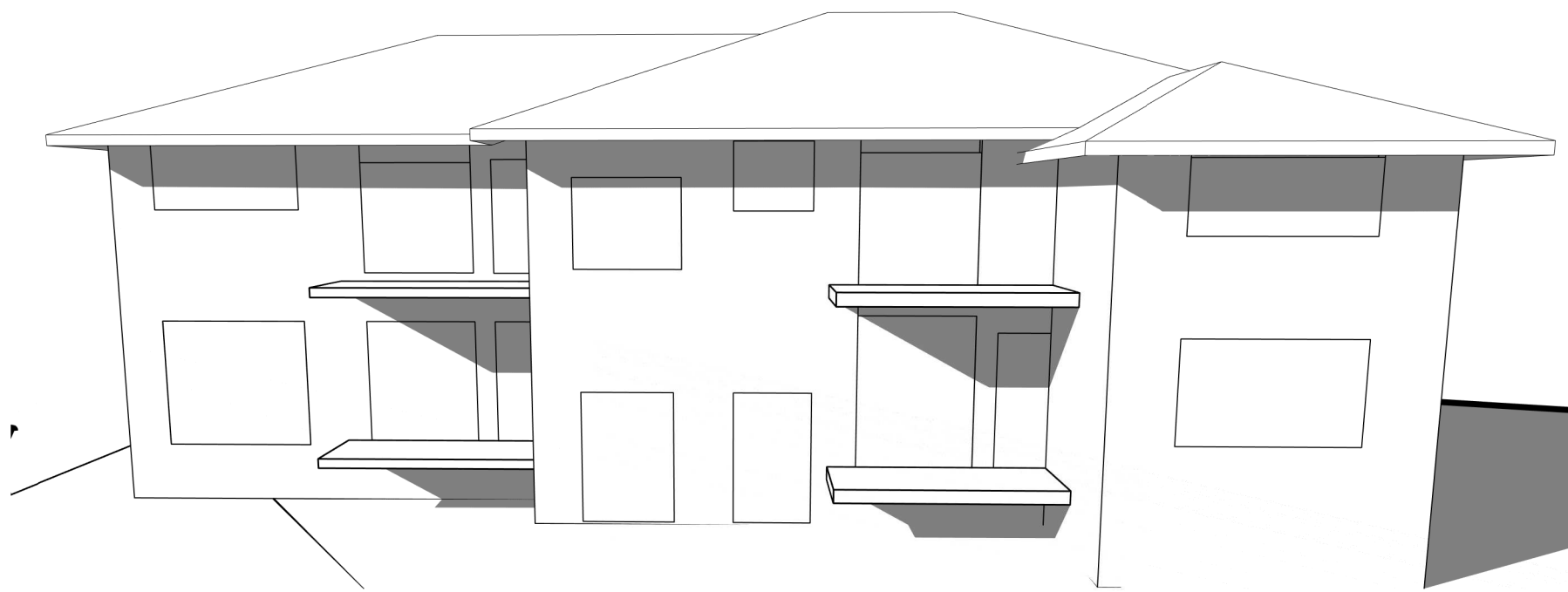
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2	REVISED DA ISSUE	CA	14/09/20
3	ISSUE FOR SECTION 8.2	CA	11/05/21



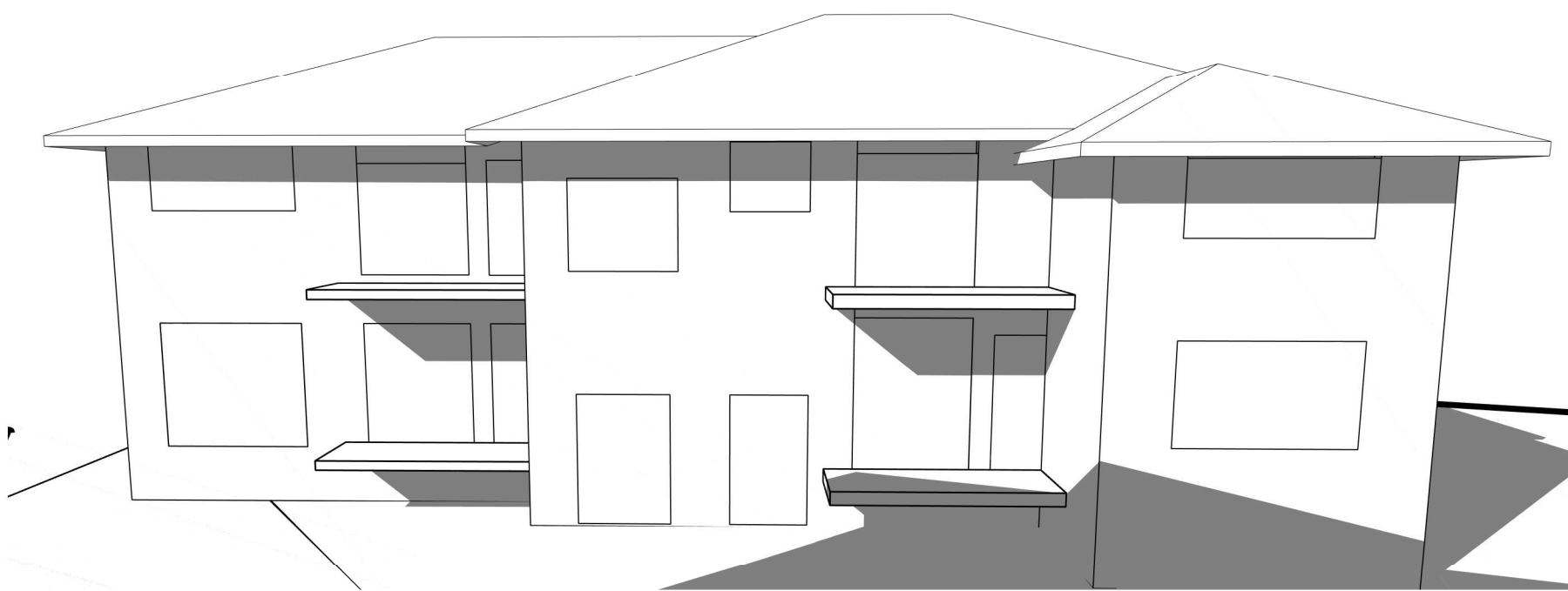
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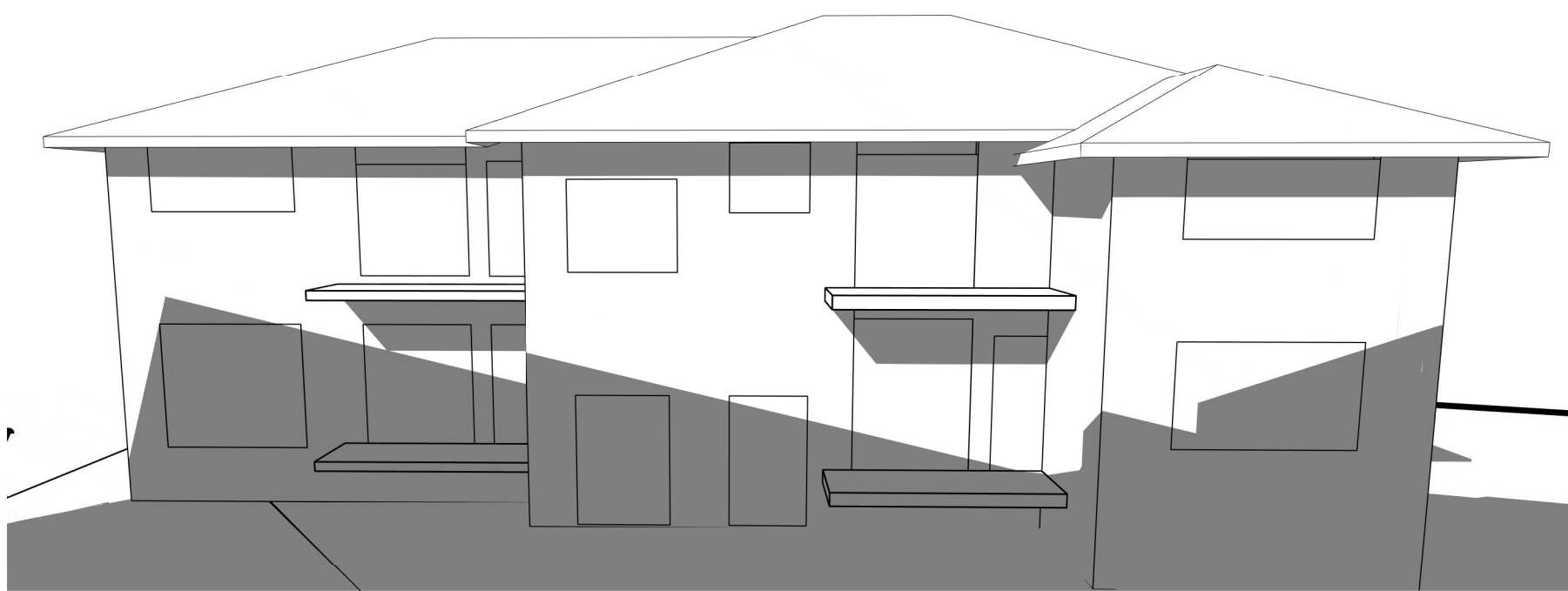
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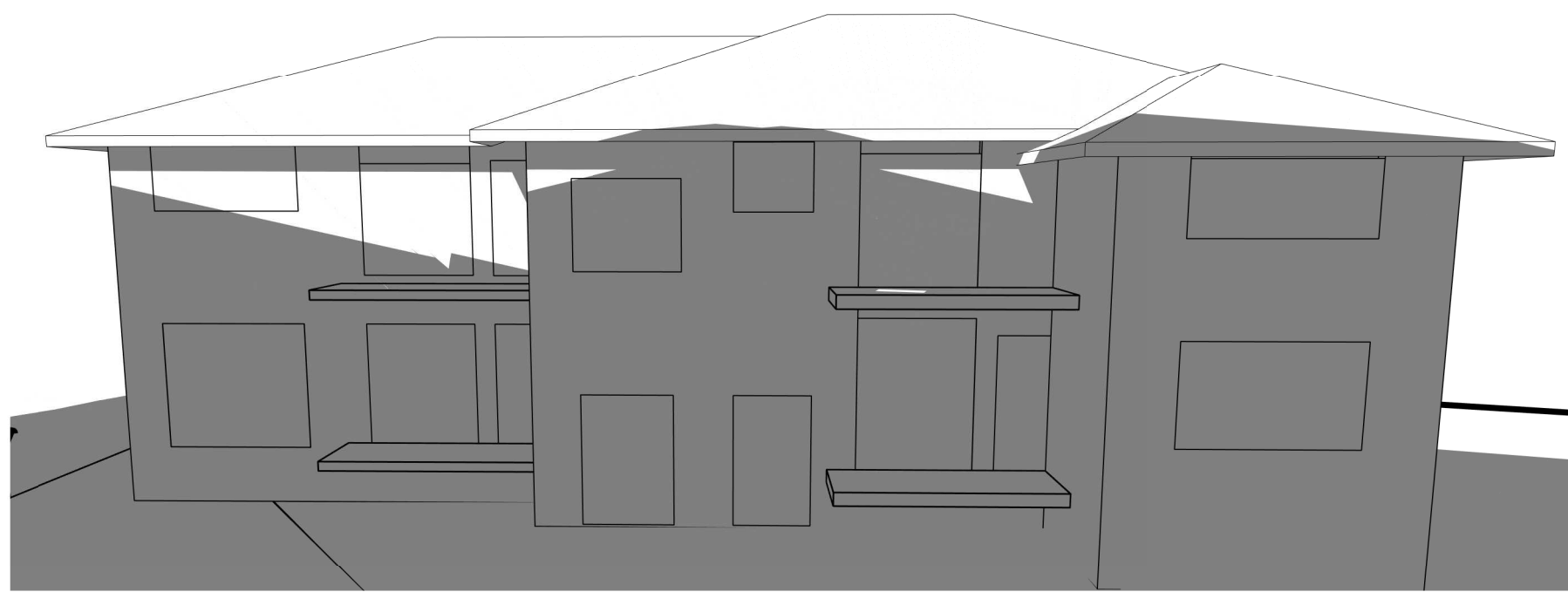
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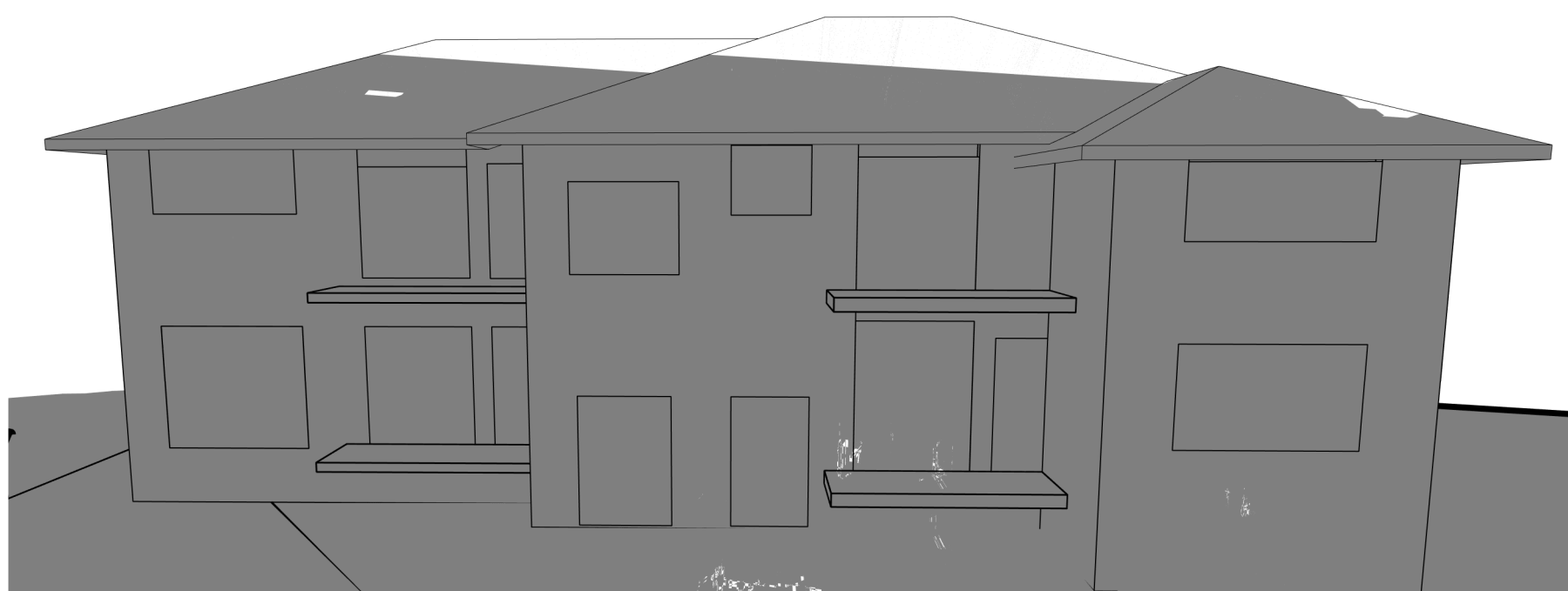
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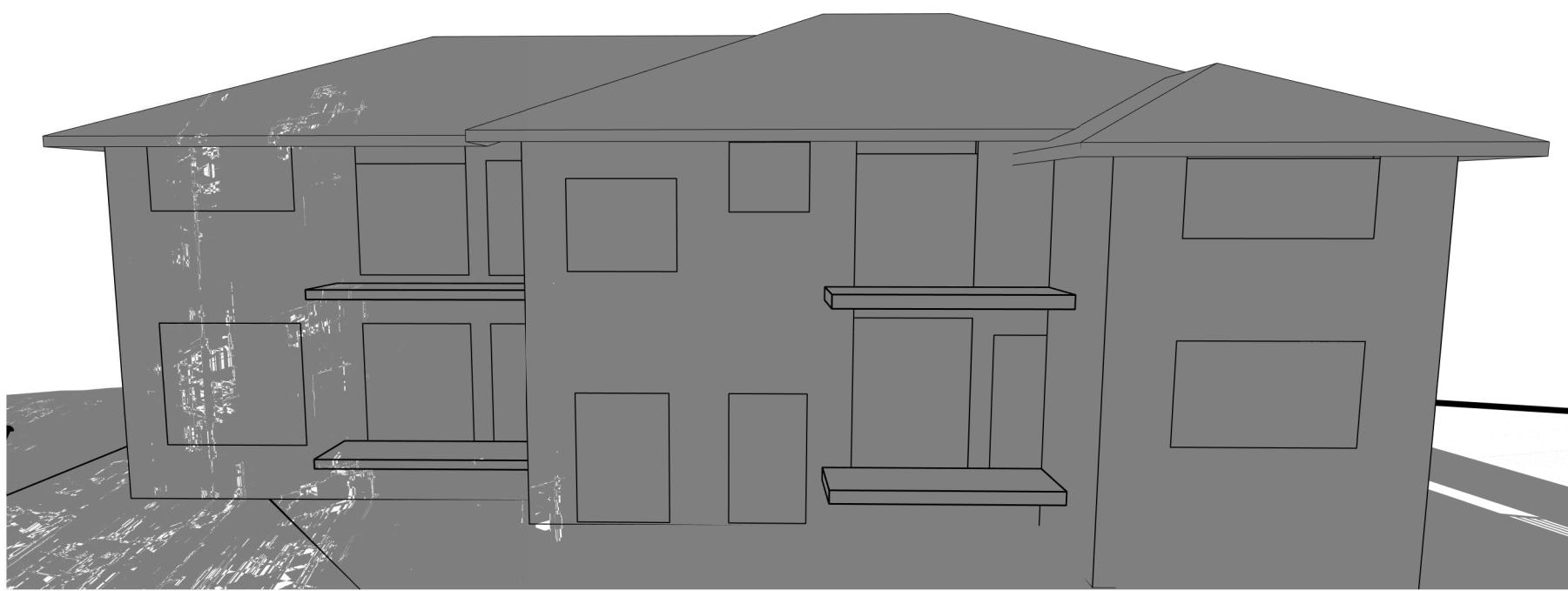
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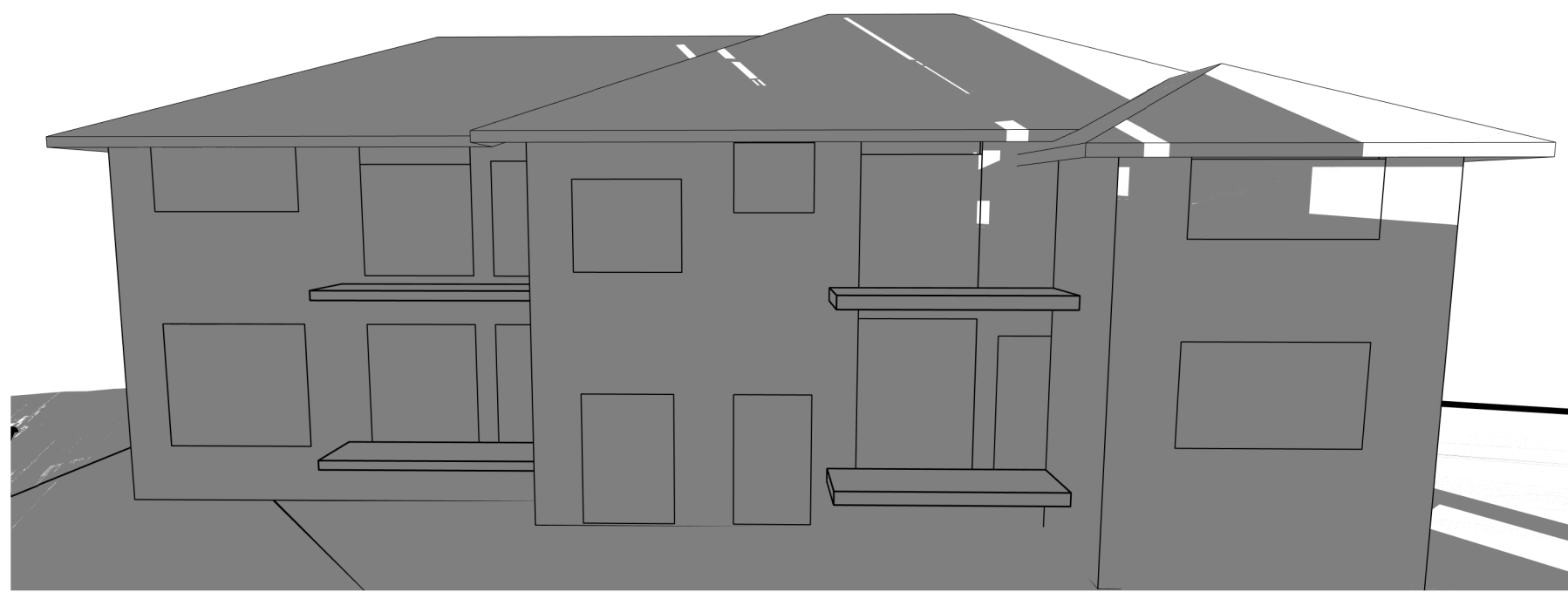
6 21ST JUNE 1300h



7 21ST JUNE 1400h



8 21ST JUNE 1500h



9 21ST JUNE 1600h

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

SECTION 8.2 ISSUE

APPROVED BY: CA
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CHECKED BY: JL

DRAWING
SHADOW DIAGRAM -
NEIGHBOURING

DATE	SCALE @ A3		DRAWN
07/12/19	NTS		
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A		DA-806	3
PROJECT NARWEE MIXED USE DEVELOPMENT			

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Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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TRANSMITTAL

PROJECT NAME: Caltex Narwee (Sydney) **PROJECT NO:** 2017151
SUBJECT: Narwee Section 8.2 Architectural Documentation **DATE:** 11/05/2021
PURPOSE: For your use and distribution **TRANSMITTAL ID:** 00038
FROM: Crystal Anson **VIA:** Info Exchange

RECIPIENT(S)

NAME	COMPANY	EMAIL
Scott Barwick	SJB Planning	sbarwick@sjb.com.au

REMARKS:

Hi Scott,

Please see attached the updated architectural set for Narwee for the Section 8.2 submission. We have incorporated the changes council has requested and have also amalgamated the garbage rooms in basement 1 according to the waste consultant's advice.

The GFA has remained the same, however 1 apartment had been incorrectly labeled as a 1bed+Study which has now been corrected to be 2bed on level 2.

Can you please advise whether we need submit pages 401, 402 & 403. 402 & 403 consist of renders of the building. We are reluctant to update these as this will result in additional delays to the submission. Sheet number 400 shows the photo montage render. I have attached this one for your review. Changes that would be visible in this view include the loading dock roller door position and the location and size of the garbage holding room doors. Neither of these items have been updated in the attached though they are in the distance and therefore, not too noticeable. What are your thoughts?

Kind Regards,

Crystal Anson

Registered Architect NSW (10800)

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ABN 15 083 837 290

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DATE: 11/05/2021
TRANSMITTAL ID: 00038

Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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JACKSON TEECE BUSINESS CONTINUITY UPDATE

Our operations are continuing 'business as usual'. Follow [this link](#) to find out how we are ensuring business continuity for our clients during these challenging times.

TRANSMITTAL

DATE: 11/05/2021
TRANSMITTAL ID: 00038

DESCRIPTION OF CONTENTS

DOCUMENT NO.	DOCUMENT NAME	SHEET SIZE	SCALE	REVISION
	A-DA-109-4-FLOOR PLAN - BASEMENT 1.pdf			
	A-DA-110-4-FLOOR PLAN - GROUND FLOOR.pdf			
	A-DA-111-4-FLOOR PLAN - LEVEL 1.pdf			
	A-DA-112-4-FLOOR PLAN - LEVEL 2.pdf			
	A-DA-113-4-FLOOR PLAN - LEVEL 3.pdf			
	A-DA-114-4-FLOOR PLAN - LEVEL 4-6.pdf			
	A-DA-115-4-FLOOR PLAN - LEVEL 7.pdf			
	A-DA-121-4-ROOF PLAN.pdf			
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	A-DA-201-4-ELEVATIONS - 01.pdf			
	A-DA-202-4-ELEVATIONS - 02.pdf			
	A-DA-203-4-ELEVATIONS - 03.pdf			
	A-DA-204-4-ELEVATIONS - 04.pdf			
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	A-DA-501-4-ADAPTABLE APARTMENT LAYOUTS.pdf			
	A-DA-600-4-DEVELOPMENT SUMMARY.pdf			
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	A-DA-806-3-SHADOW DIAGRAM - NEIGHBOURING.pdf			
	A-DA-000-4-COVER SHEET.dwg			
	A-DA-010-4-SITE ANALYSIS.dwg			
	A-DA-020-4-DEMOLITION PLAN & SITE MANAGEMENT PLAN.dwg			
	A-DA-030-4-SITE PLAN.dwg			

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TRANSMITTAL ID: 00038

DOCUMENT NO.	DOCUMENT NAME	SHEET SIZE	SCALE	REVISION
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	A-DA-107-4-FLOOR PLAN - BASEMENT 3.dwg			
	A-DA-108-4-FLOOR PLAN - BASEMENT 2.dwg			
	A-DA-109-4-FLOOR PLAN - BASEMENT 1.dwg			
	A-DA-110-4-FLOOR PLAN - GROUND FLOOR.dwg			
	A-DA-111-4-FLOOR PLAN - LEVEL 1.dwg			
	A-DA-112-4-FLOOR PLAN - LEVEL 2.dwg			
	A-DA-113-4-FLOOR PLAN - LEVEL 3.dwg			
	A-DA-114-4-FLOOR PLAN - LEVEL 4-6.dwg			
	A-DA-115-4-FLOOR PLAN - LEVEL 7.dwg			
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	A-DA-010-4-SITE ANALYSIS.pdf			

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	A-DA-020-4-DEMOLITION PLAN & SITE MANAGEMENT PLAN.pdf			
	A-DA-030-4-SITE PLAN.pdf			
	A-DA-106-4-FLOOR PLAN - BASEMENT 4.pdf			
	A-DA-107-4-FLOOR PLAN - BASEMENT 3.pdf			
	A-DA-108-4-FLOOR PLAN - BASEMENT 2.pdf			

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